

CITY OF WILLIAMSBURG DESIGN REVIEW GUIDELINES

ARCHITECTURAL PRESERVATION DISTRICT CORRIDOR PROTECTION DISTRICT



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INTRODUCTION



EXECUTIVE SUMMARY

It is the overall intent of the *Design Review Guidelines* to remove the mystery from the design review process and provide some measure of predictability for property owners and to ensure that Architectural Review Board decisions are objective and consistent for building and sign projects in the **Architectural Preservation District** and **Corridor Protection Districts**. In these design review guidelines, the Architectural Review Board has attempted to transcribe the design review and community preservation goals which have evolved over time since the City's architectural review program was first created in 1958, and which are outlined in the 1989 Comprehensive Plan, into a clearly legible and portable format.

The creation of *Design Review Guidelines* for the Architectural Review Board was recommended by the 1989 Comprehensive Plan and the 1991 Zoning Ordinance. The nature of the guidelines follows the directive of the Architectural Review Article of the 1991 Zoning Ordinance to enhance the quality of life for all by preserving the character and desirable aesthetic features of the City and ensuring that new development is compatible with these areas and features. As with all land use controls, the purpose of the Architectural Review Board is to review individual building and signage projects in the City to ensure that the property values of the whole neighborhood and commercial area are protected. The special character-defining features of the City were identified schematically in the Comprehensive Plan and specifically in the 1992 Architectural Survey report. The Comprehensive Plan recommended that an inventory and assessment of the characteristics of these areas and features be undertaken and that the results be used to guide and assist in the development of design review guidelines for the Architectural Review Board.

A Listing of Locally Significant Architecture and Areas in Williamsburg was created based on the results of the 1992 Architectural Survey, which was conducted by Frazier Associates with a grant from the Virginia Department of Historic Resources. The purpose of the Listing is not necessarily to mandate preservation and protection of the listed property, but to alert the Architectural Review Board to the fact that the property has some significance in defining the City's character and in representing architectural styles and cultural periods from the City's past, and, in particular, that the property contributes to the character of the neighborhood and surrounding area. When the ARB reviews development proposals for the site of a listed property or a property in the vicinity of listed properties, the ARB considers the character of the property, the role it plays in the surrounding area, and the value of preservation of the resource, and weighs it against the current stat of the property and the surrounding area and the proposal for alteration or redevelopment of the site. If the property in its current state has lost much of the integrity which made it significant, or contributory, and if the proposed new development would improve the character of the surrounding area, the ARB may decide that alteration or redevelopment of the site would be appropriate and perhaps preferable to retaining the building in its present state or in a restored state. Another purpose of the Listing is to alert the ARB that when it is determined that a listed property cannot be retained in the face of present development patterns, that it should be documented prior to removal or dramatic alteration.

As recommended by the Comprehensive Plan, the guidelines are compatible with the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings and follow precedent set by the State and other communities which use the Secretary's Standards as the basis for their preservation programs and local design review guidelines.

During the process of drafting the design review guidelines, the Architectural Review Board and the Planning Department have received comments from the public suggesting that some property owners in the City are confused about the design review process in Williamsburg and are unaware of the precedent for such a program. The following section briefly outlines the chronological development of design review in the Country and the current state of preservation planning in Virginia.

The first comprehensive preservation ordinance in the County was enacted by Charleston, South Carolina, in 1931. On the federal level, Congress passed the Historic Sites Act in 1935, advocating historic preservation as a national policy for federal agencies. The current national preservation program was enacted into law as the National Historic Preservation Act of 1966, with subsequent amendments. The first preservation law in Virginia was enacted by the City of Alexandria in 1946. Virginia State enabling legislation for historic preservation was enacted in 1950, with subsequent amendments.

The City of Williamsburg first adopted a preservation ordinance in 1947 when the Colonial Williamsburg Historic Area was adopted as an overlay-zoning district, requiring all reconstruction projects and land uses to be reviewed by the Board of Zoning Appeals on a case-by-case basis. In 1958, the City adopted a comprehensive architectural review ordinance for the entire City, which established Williamsburg's first architectural review board. The current Architectural Review Article of the 1991 Zoning Ordinance is in line with the State Code and is modeled on several ordinances in effect in Virginia.

According to the Virginia Department of Historic Resources, by 1957, approximately 11 communities in the Country had enacted preservation ordinances. With ordinances dating from 1947 and 1958 the City of Williamsburg was among the top three localities in Virginia, with Alexandria and Richmond, and one of the earliest communities in the Country to adopt a comprehensive architectural review ordinance as a means of promoting general welfare.

As of 1992, there are 55 architectural review boards in Virginia reviewing building projects in over 180 historic districts. The Virginia Preservation Alliance estimates that over 50% of the ARB's in Virginia use some form of written design review guidelines. The perception that location in architectural review districts decreases property values, espoused by some property owners, is refuted by the experience of such cities as Alexandria, Fredericksburg, and Richmond, to name a few. Studies have shown that property values in the historic districts have increased substantially since designation and that the rise in property values in the historic districts has outstripped the growth of property values outside the districts by huge margins. In addition, historic districts around Virginia attract tourism, and the resulting business and tax income for the locality and State, and attract new property owners and reinvestment tax income to the

host community. When a community becomes a more attractive place to visit, to live and to do business, the value of real property rises and the quality of life for all is enhanced. By designating architectural review districts to ensure that the community's special character is preserved and enhanced, the City of Williamsburg supports the efforts of the Colonial Williamsburg Foundation to create and maintain a superior environment for the Historic Area and reinforces a commitment to attract and retain visitors, residents, businesses, and the resulting income to our community.

AESTHETIC OBJECTIVES

The guiding principle behind the design review guidelines is to enhance the quality of life for all residents and visitors to the City by preserving the character and desirable aesthetic features of the community. In order to ensure that this character is preserved, it is necessary to protect significant features from destruction and to ensure that new projects in the City do not detract from the identifiable character of the community. New construction projects and substantial renovation projects should respect the scale, materials, massing and setbacks of neighboring buildings and the overall streetscape, and should preserve and enhance the natural features present on the project site and along the street. Signs and awnings should be designed to enhance the visual image of the property and to complement the existing conditions along the street.

ARCHITECTURAL PRESERVATION DISTRICT

Design review within the **Architectural Preservation District** is intended to protect significant buildings from inappropriate renovations, to create an atmosphere for compatible future growth, to prevent the intrusion of adverse environmental influences, and to assure that new buildings and uses will be in keeping with the character of the various older neighborhoods within the **Architectural Preservation District**. In particular, it is the intention to protect the integrity of the Colonial Williamsburg Historic Area and to avoid the confusion and dilution caused by construction of buildings, within 1/4 mile of the Historic Area boundaries, which replicate the eighteenth-century buildings in the Historic Area. New construction should be compatible in scale, massing and materials with surrounding buildings. Additionally, new construction projects should be designed for the specific siting within the City of Williamsburg and should avoid designs, which exemplify a company's corporate design image without regard for the project setting.

CORRIDOR PROTECTION DISTRICTS

Design review within the **Corridor Protection Districts** is intended to protect and enhance the special character of the **Architectural Preservation District** including the Colonial Williamsburg Historic Area by ensuring that the major access routes to the City are developed and maintained in a harmonious and compatible manner. The intent is to encourage the improvement of the architectural and visual character of these major corridors, to prevent the intrusion of adverse environmental influences, and to create an atmosphere for compatible future growth. In particular, it is the intention to protect the integrity of the Colonial Williamsburg Historic Area and to avoid the confusion and dilution caused by construction of buildings, within 1/4 mile of the Historic Area boundaries, which replicate the eighteenth-century buildings in the Historic Area. In addition, new construction designs should be of the highest quality to reflect the unique character of Williamsburg.

1. Colonial Williamsburg Historic Area
2. Merchants Square
3. Old Campus of College of William & Mary
4. Colonial Parkway
5. Capitol Landing
6. College Landing
7. Carter's Grove Country Road
8. Cedar Grove Cemetery
9. Eastern State Cemetery
10. Capitol Landing Road
11. South Henry Street (College Landing Road)
12. Jamestown Road
13. Richmond Road

14. Peacock Hill
15. Downtown
16. Colonial Extension
17. Griffin Avenue/Cary Street/Newport Ave
18. South Boundary Street/Ireland Street
19. Chandler Court
20. Pollard Park
21. College Terrace
22. West Williamsburg Heights
23. Indian Springs
24. Burns Lane
25. Braxton Court
26. West Williamsburg
27. Capitol Heights
28. Pine Crest
29. Mt. Ararat Baptist Church
30. Bruton Heights School (CWF)
31. Matthew Whaley School
32. Bassett Hall (CWF)
33. Providence Hall (CWF)
34. William Byrd House & Stables (CWF)
35. Bowden-Armistead House
36. Cara & Dora Armistead House
37. Casey Field & farm house

Map of Architectural Preservation District/I.B-4

DESIGN REVIEW GUIDELINES

ARCHITECTURAL PRESERVATION DISTRICT CORRIDOR PROTECTION DISTRICT



INVENTORY OF ARCHITECTURAL STYLES

The following section identifies the prevalent older architectural styles found in the City which date after the Colonial period and describes the architectural elements which that characterize each style. When proposing a change to a building in the Architectural Preservation District, the applicant should consider this stylistic information to ensure that the new design is sympathetic with the architectural characteristics of the existing building.

With the exception of two antebellum mansions and a few vernacular houses from the early through the late 19th century, the oldest surviving non-Colonial architectural buildings in Williamsburg are a few late nineteenth century and turn of the century Victorian houses in Peacock Hill and in the Colonial Extension subdivision. These houses exhibit the characteristics of the "free classic adaptation" sub-style of the **Queen Anne style**. The houses are generally two-story frame houses with cross side gables, wide porches, and simple classical or restrained Queen Anne decorative details. A few houses along Scotland Street and North Henry Street do exhibit more elaborate decorative details along the eaves and through the use of contrasting siding materials.

- ROOF: Hipped with lower cross gables (usually with a dominant front-facing gable, side gables and sometimes a corner tower), Full-width front gable, Cross gables only, or Hipped with large front-facing gabled dormer; slate or tin shingles; classical cornice and pedimented gables.
- SIDING: Weatherboards with shingles at upper story or in gables or sometimes mock half-timbering in gables, or weatherboards only.
- WINDOWS: Two-over-two, one-over-one, or sometimes six-over-six; crescent or Palladian gable windows, sometimes; shutters, sometimes.
- DOOR: Glazed or six-panel with sidelights and/or transom.
- COLOR: Muted earthtones with contrasting trim and decorative details.
- PORCH: Full-width, or wrap-around, deep porch with small gable pediment over steps and classical, carpenter gothic, or Queen Anne spindled details.
- FENCE: Wrought iron or picket.

A substantial collection of early twentieth century **BUNGALOWS** are located along Capitol Landing Road, the eastern portion of the West Williamsburg subdivision, Braxton Court, in the area around the intersection of Jamestown Road and Griffin Avenue, and scattered about in other neighborhoods surrounding the Historic Area. These low, one-and-one-half story narrow houses were sided with wood shingles or weatherboards, have low gable, hip or hipped gable roofs, wide overhangs and exposed roof rafter tails along the eaves, and deep porches across the facade. Most of these survivors have lost original decorative siding and window details, but a few good examples remain on Capitol Landing Road.

- ROOF: Low side gable with shed or gable dormer in front, Front gable without dormer, or Hip with hipped-gable dormer in front; wide roof overhangs along the eaves and over the gables; exposed roof rafter tails; wood or asphalt shingles.
- SIDING: Shingles or weatherboards.

WINDOWS: Six-over-one, one-over-one.
DOOR: Glazed.
COLOR: Muted earthtone stain with whit trim and rafter tails.
PORCH: Full-width deep porch inset under roof or attached gable or hip-roof porch; supported by simple square columns or square columns on piers.

A smaller collection of early twentieth century **AMERICAN FOURSQUARE HOUSES** have survived and are located in Peacock Hill, the area to the west of Peacock Hill along Richmond Road and Armistead Avenue, the Colonial Extension subdivision, and along the upper portion of Jamestown Road. These boxy, two-story frame or masonry houses have hip or occasionally gable roofs, were sided with shingles and/or weatherboards, have wide porches, are two, three, or four bays wide, and often have a small dormer on each hip-roof facade.

ROOF: Hip with hipped-gable dormer in front or on all sides; interior chimneys with occasionally one central interior chimney at the peak of the hip roof; tin or slate shingles.
SIDING: Weatherboards or weatherboards with shingles at upper story over belt-course.
WINDOWS: One-over-one, six-over-one.
DOOR: Blazed.
COLOR: Muted earthtones, with lighter trim, or pale "colonial" colors.
PORCH: Attached full-width porch with hipped roof supported by square columns or square columns on piers.
FENCE: Plank rails.

Most of the surviving older architectural structures outside the Colonial Williamsburg Historic Area are **COLONIAL REVIVAL** houses. This popular style began to appear in the City's outlying neighborhoods at the turn of the century and gained popularity in the late 1920s and 1930s and post-World War II era. Colonial Revival houses in Williamsburg have four basic forms: one-and-one-half-story multi-dormered gambrel (Virginia Gambrel), one-and-one-half-story full-dormered gambrel (Dutch Colonial Revival), two-story gable, and one-and-one-half-story multi-dormered gable. The earlier examples of the "**Two-story gable**", "**Dutch Colonial Revival**" gambrel and "**Virginia Gambrel**" houses reflect the influence of national building trends and the builders' guides and catalogs of local builders. These houses have an abundance of classical architectural details; i.e. Palladian windows, dentil or modillion cornices, columns and pediments, sidelights and fanlights around doorways, and casement windows. Examples of this form can be seen in West Williamsburg Heights, College Terrace, Richmond Road, Jamestown Road, Chandler Court, Pollard Park, Indian Springs, Burns Lane, and Capitol Landing Road.

TWO-STORY GABLE COLONIAL REVIVAL STYLE -- 1900 to 1940s

ROOF: Gable or Hipped roof; classical cornice; slate or asphalt shingles.
SIDING: Weatherboards.
WINDOWS: Six-over-six, eight-over-eight, six-over-one, eight-over-one; classical proportions; Palladian accents and/or paired arcs in side gables; shutters.
DOOR: Six-panel; classical door surrounds; sidelights and/or fanlight.
COLOR: White or pale "colonial" colors with dark shutters.
PORCH: Gable pediment hood or portico over stoop; side enclosed "sun room: and/or side porch.
FENCE: White picket.

DUTCH COLONIAL REVIVAL STYLE -- 1920s to 1930s

ROOF: Over-hanging gambrel with full-width shed dormer in front; slate shingles.
SIDING: Weatherboards or sometimes shingles.
WINDOWS: Six-over-six; eight-over-eight; six-over-one, eight-over-one; classical proportions; shutters.
DOOR: Six-panel; classical door surround; sidelights and/or fanlight.
COLOR: All white, with dark shutters and roof, or pale "colonial" colors.
PORCH: Arched or gable pediment hood, or portico, or full-width porch inset under roof, or attached with shed roof.
FENCE: White picket.

VIRGINIA GAMBREL COLONIAL REVIVAL STYLE -- 1930s to 1940s

ROOF: Over-hanging gambrel; two, three or four dormered windows in line with front wall of house; end chimneys; slate shingles.
SIDING: Weatherboards; brick end walls, occasionally.
WINDOWS: Six-over-six; eight-over-eight; nine-over-nine; classical proportions; shutters.
DOOR: Six-panel; classical door-surround; transom, occasionally.
COLOR: All white with dark shutters and roof.
PORCH: None.
FENCE: White picket or plank rail.

Later Colonial Revival houses of the post-World War II era have simpler forms and fewer architectural details. The most prevalent form of this period is the "**One-and-One-Half-Story Gable**". The largest concentrations of this form can be seen in the Pine Crest and West Williamsburg subdivisions.

ROOF: One-and-one-half-story gable with two gable dormers in front; classical cornice; end chimneys on more stylized examples; slate or asphalt shingles.
SIDING: Weatherboards or shingles; brick end walls, occasionally.
WINDOWS: Six-over-six; six-over-one; shutters.

DOOR: Six-panel; classical door-surround and sometimes transom.
COLOR: White or pale "colonial" colors with dark shutters.
PORCH: Occasionally, gable pediment hood over stoop.
FENCE: Picket.

More recent Colonial Revival houses have directly imitated buildings and features found in the Colonial Williamsburg Historic Area or exhibit more of a **Georgian Revival** style appearance. Examples of the Georgian Revival style are evident in Yorkshire and The Woods, outside the APD, and examples of both the Historic Area imitations and the Georgian Revival style are appearing throughout the City as infill in older neighborhoods.

An often overlooked collection of architectural structures are the late nineteenth- century and early twentieth-century **VERNACULAR** houses which exist as isolated rural houses and which are prevalent in surviving historic African-American and working-class neighborhoods in the City. Surviving examples within the Architectural Preservation District can be found in Braxton Court, in the area west of Peacock Hill, at the western end of the West Williamsburg subdivision, along South Henry Street, and scattered about the outlying areas of the old City. These small, simple frame houses appear in a wide variety of forms from elegant little shotgun-type bungalows and cross gable houses to awkward two-story gable houses to simple, functional, additive form houses.

A growing number of houses in the city are being designed in a non-Colonial Revival, modern style. A few examples of modern houses are located in the Architectural Preservation District in Pine Crest, Capitol Heights, College Terrace, West Williamsburg, Indian Springs, the lower end of Burns Lane and along Griffin Avenue. Most of the modern houses are located outside the Architectural Preservation District in outlying subdivisions of the city, such as Matoaka Court, Skipwith Farms, Forest Hills, the Wales subdivision, Mimosa Drive, The Coves, Port Anne, Yorkshire, Walnut Hills, Richneck Heights, the lower end of Burns Lane and the Ludwell Place subdivision. Examples of the **RANCH HOUSE** and **SPLIT LEVEL HOUSE** styles, which became popular in the 1950s, are present throughout these neighborhoods. A smaller number of **CONTEMPORARY** style houses, which became popular in the 1960s and 1970s are scattered about these neighborhoods with the majority of the examples of this style present outside the Architectural Preservation District. An even smaller number of houses in the city are of the CALIFORNIA SHED style, which became popular in the 1970s and 1980s. Examples of this style are mainly confined to The Coves and the Walnut Hills area, but isolated examples can be found scattered about the city. The most recent variety of modern houses found in the developing subdivision at Port Anne might be called **ABSTRACT HISTORICAL ECLECTIC**. These houses are asymmetrical, multi-volumed forms sheathed in a multitude of abstracted historical motifs but borrowing mainly from the Colonial Revival and Queen Anne traditions.

Vernacular

various forms



520 Jamestown Road (c. 1840-1869, c 1898-1900)



503 Tyler Street (c. 1914)

Vernacular

various forms



110 Brooks Street (c. 1900)



703 Page Street (c. 1890)

Vernacular

various forms



620 South Henry Street (c. 1900 – 1920)



811 Capitol Landing Road (c. 1920)

Queen Anne and Free Classic Adaptation Sub-Style ----- various forms



332 North Henry Street (c. 1907)



245 North Henry Street (c. 1910)

Queen Anne and Free Classic Adaptation Sub-Style ----- various forms



427 Scotland Street (c. 1898)



320 North Henry Street

BUNGALOW



500 Capitol Landing Road (c. 1926)



602 Capitol Landing Road (c. 1941)

Colonial Revival

various forms

TWO-STORY GABLE



711 Richmond Road (c. 1929)

DUTCH COLONIAL REVIVAL



606 College Terrace (c. 1929)

Colonial Revival

various forms

VIRGINIA GAMBREL



608 Pollard Park (c. 1940)

ONE-AND-ONE-HALF-STORY GABLE

FOURSQUARE



404 South England Street (c. 1920)

DESIGN REVIEW GUIDELINES

ARCHITECTURAL PRESERVATION DISTRICT CORRIDOR PROTECTION DISTRICT



DESIGN REVIEW DISTRICTS

While many associate Williamsburg's image and history with the restored colonial capital, Merchants Square, the Colonial Parkway and the College of William and Mary, the City is also blessed with numerous other buildings, neighborhoods and roads that have evolved over time and contribute to a sense of history as well as to the visual character of the community. The City's 1989 Comprehensive Plan outlined a program of preservation and design review to ensure that the special character of the City is preserved and maintained for the future. This program included two types of design review districts to meet these goals: an **Architectural Preservation District** and **Corridor Protection Districts**. These districts will be described in further detail in the following section.

ARCHITECTURAL PRESERVATION DISTRICT

In the **Architectural Preservation District**, the Architectural Review Board will review all construction, rehabilitation, relocation, demolition, and signage with the exclusion of the State properties of the College of William and Mary. It is the intent of this district as outlined in the 1989 Comprehensive Plan and the 1991 City Zoning Ordinance to protect these areas from adverse influences and to ensure that new uses, buildings and signs shall be in keeping with the character of the district.

The boundaries for the **Architectural Preservation District** (APD) were suggested by the 1989 Comprehensive Plan and developed based on further field study. The APD encompasses all of the older residential neighborhoods and historic sites in the City and the City's National Register sites: the Colonial Williamsburg Historic Area, the Old Campus of the College of William and Mary, and the sites of the colonial ports at College Landing and Capitol Landing. The sixteen residential neighborhoods and areas in the APD date from the turn of the century through the 1940s. These neighborhoods include: Capitol Landing Road, South Henry Street (College Landing Road), Peacock Hill, the Jamestown Road/Griffin Avenue/Newport Avenue/South Boundary Street area, the lower Richmond Road area, Colonial Extension on South England Street, Chandler Court, Pollard Park, College Terrace, West Williamsburg Heights, Indian Springs, Burns Lane, Braxton Court, West Williamsburg, Capitol Heights, and Pine Crest. (The major areas of the APD are identified on the enclosed map.) These numerous areas and features contribute to the historic, architectural and cultural image of the community and enhance the architectural excellence and historic importance of Colonial Williamsburg.

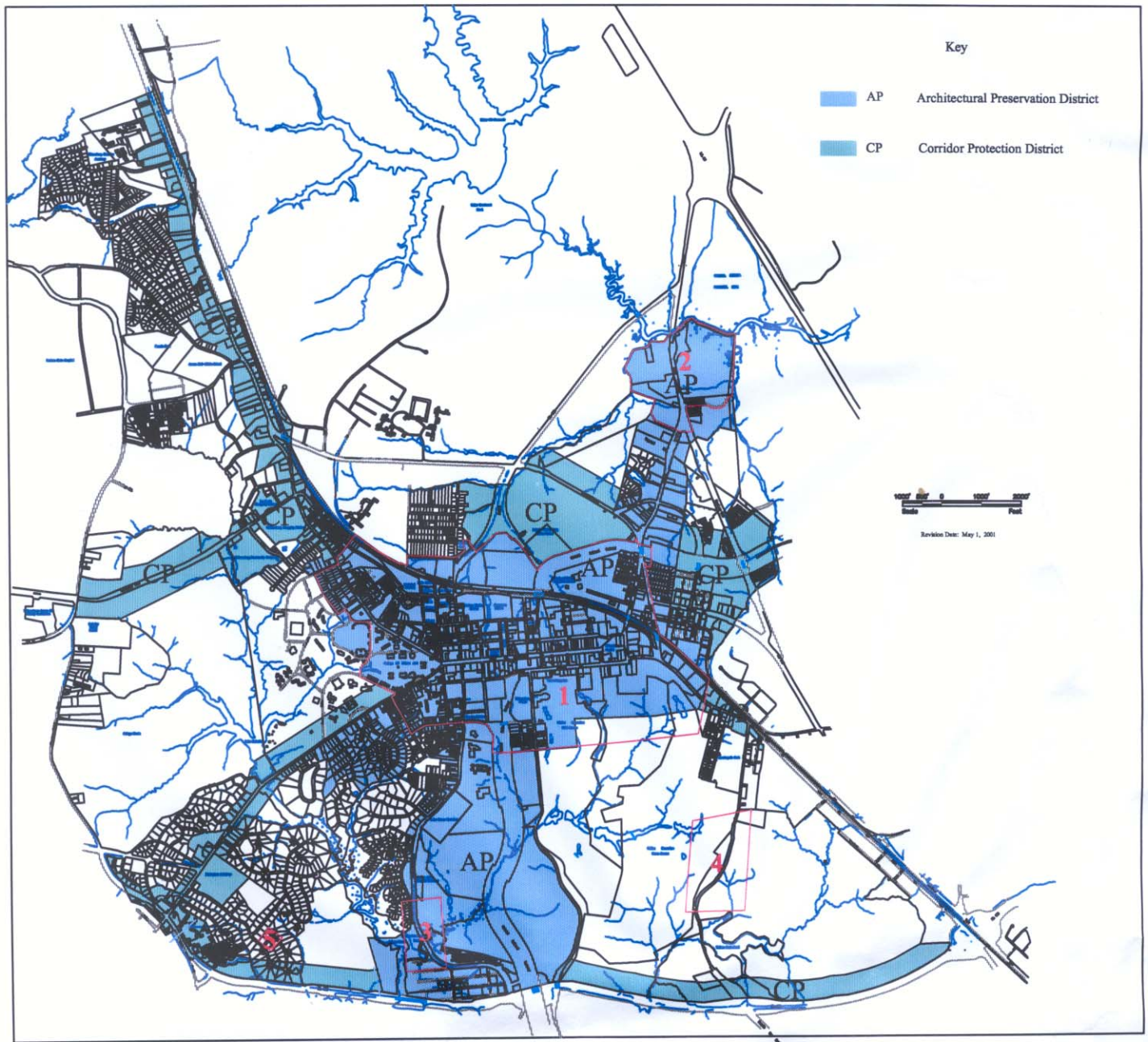
A Listing of Locally Significant Architecture and Areas in Williamsburg was created to assist the Architectural Review Board in recognizing the important elements, which help define the City's character. The Listing was created based on the results of an architectural survey of the **Architectural Preservation District**, which was conducted by Frazier Associates of Staunton in 1992 and was partially funded by the Virginia Department of Historic Resources. The Listing includes neighborhoods, which the survey report identifies as potentially eligible for inclusion on the national and State Registers of Historic Places.

Of approximately 750 buildings in the Architectural Preservation District outside the Colonial Williamsburg Historic Area and the campus of the College of William and Mary, 250 properties are listed as locally significant (Appendix G). Included among those listed, as suggested by the survey report, are all properties within areas recommended eligible for historic district status on the National and State Registers, such as College Terrace, West Williamsburg Heights, Chandler Court, Pollard Park, Braxton Court, and the Merchants Square and Prince George Street commercial area. The Listing also includes properties inadvertently excluded from the survey report recommendations and adds other properties, which contribute to the architectural, cultural, and historical image of the City. On the Listing are two Colonial houses on Francis Street and four relocated Colonial houses outside the Historic Area, two early 19th century vernacular houses, two antebellum 19th century houses, 60 Victorian and turn-of-the-century vernacular houses, 36 Bungalows, 16 Foursquares, 96 Colonial Revival houses, and various Colonial Revival civic and commercial buildings and churches from the 1930s.

CORRIDOR PROTECTION DISTRICTS

In the **Corridor Protection Districts**, the Architectural Review Board will review all construction and signage with the exclusion of State properties of the College of William and Mary. It is the intent of this district as outlined in the 1989 Comprehensive Plan and the 1991 City Zoning Ordinance to protect and enhance the special character of the Colonial Williamsburg Historic Area and the Architectural Preservation District by ensuring that the major access corridors to these areas are developed and maintained in a harmonious and compatible manner.

The boundaries and locations of the **Corridor Protection Districts** (CPDs) were suggested by State Enabling Legislation and the 1989 Comprehensive Plan and are located along the major entrance corridors of the City. The seven CPDs are located along: Richmond Road (west of Brooks Street); Monticello Avenue; Jamestown Road (south of 718 Jamestown Road); Route 199; Route 132 (north of Dunning Street) and By Pass Road; Merrimac Trail (east of Woodshire) and Second Street (east of 134 Second Street); and York Street (east of Ramada Inn Points Hotel by Sheraton). (The CPDs are identified on the enclosed map.) It is also the intent of these districts to encourage the improvement of the architectural and visual character of these major corridors, and to encourage development, which is compatible with the character of the Architectural Preservation District.



THE CITY OF WILLIAMSBURG, VIRGINIA



OFFICIAL ZONING MAP ZONING DISTRICTS SHEET 2 OF 3

Archaeological Protection District

1. "Old Town" Williamsburg resource area
2. Capitol Landing resource area
3. College Landing resource area
4. Civil War battle sites resource area
5. Richneck Plantation resource area

THE OFFICIAL ZONING MAP CONTAINS:

SHEET 1: ZONING DISTRICTS

SHEET 2: ARCHITECTURAL REVIEW DISTRICTS

SHEET 3: CHESAPEAKE BAY PRESERVATION AREAS

DESIGN REVIEW GUIDELINES

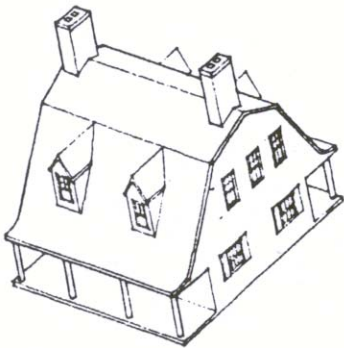
ARCHITECTURAL PRESERVATION DISTRICT ZONE 1



ARCHITECTURAL PRESERVATION DISTRICTS

In the **Architectural Preservation District**, designs for new buildings should be compatible with the neighboring buildings. New buildings need not imitate existing buildings in order to be compatible. Well-designed buildings that respect the scale and character of the existing buildings but in a modern idiom, such as the Kinnamon Townhouses on North Boundary Street, can be successful infill projects in older neighborhoods. Due to different characteristics of dwellings in the **Architectural Preservation District** the District is broken into three zones; the APD zone 1 which contains the older neighborhoods in the City, APD zone 2 contains the Center City Area and APD zone 3 contains post World War II Colonial Revival and more modern style dwellings such those located in Pinecrest, Capitol Court and West Williamsburg Heights. Each zone in the **Architectural Preservation District** has it's own character and thereby it's own guidelines.

ARCHITECTURAL PRESERVATION DISTRICT ZONE 1 (APD-ZONE 1)



neighborhoods in the City such as Pollard Park, Chandler Court, Indian Springs, Burns Lane, Capitol Landing Road, College Terrace and West Williamsburg. These areas have a multitude of designs ranging from modest bungalows, gabled colonial revival styles, Dutch colonial revival styles, Virginia gambrel colonial revival style and vernacular dwellings.

The purpose of these guidelines is to describe a range of prescriptive architectural practices that can be employed in numerous ways, but still assure that any new construction, addition or alteration of existing structures will be done in such a way as to complement and contribute to the existing scale and character of the area.

General Design Criteria



- New architecture should not replicate or imitate historic buildings, but be an evolution of and compatible with Williamsburg's design traditions, forms and materials. Replications of 18th century buildings in the Colonial Williamsburg historic area or elsewhere are not acceptable. Revivalist style buildings can be faithful to and compatible with the architectural traditions of this locale without being copies of ones in the restored area.



- Traditional architecture styles associated with Williamsburg include Colonial Revival, Georgian Revival, and Tidewater Virginia Vernacular. These styles provide flexibility of design and innovative possibilities for responding to the existing pattern of development, thus fitting into and building up patterns in the cityscape. Adaptations of these prevalent architectural styles ensure long-term compatibility with the city and enhance opportunities for adaptive use of buildings.
- New construction designs should be avoided which create unbalanced visual images in the City. For example, in a neighborhood of two-story, vertically oriented houses (Colonial Revival, Victorian, etc.) an infill project with a one-story, horizontally oriented design such as a Ranch house may not be appropriate.
- The designer for infill construction should examine and evaluate the structural and natural forms that will affect the project and should creatively design a compatible solution that respects the scale and palette of neighboring architectural features.



Typical Architectural Infill

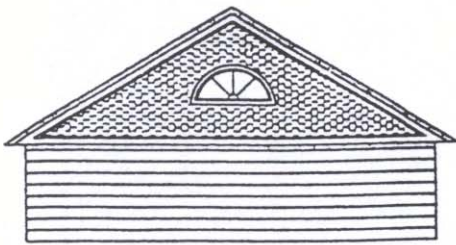
- Side and rear elevations should contain the same design elements and materials as the front façade.

Architectural Elements

Walls



- Materials, which reflect the city's traditions, are highly encouraged. Buildings should be constructed of brick or horizontal wood siding. Siding must have an exposure between six and eight inches and may have a beaded edge; the intended effect is to create a play of light and shadow on the wall surface.
- The painting of unpainted natural brick surfaces is discouraged. If extenuating circumstances exist that require the painting of natural brick then the Board will review these circumstances on a case-by-case basis.
- A synthetic siding that resembles authentic horizontal wood siding (i.e. Hardiplank) may be acceptable for new buildings or as replacement material for siding on existing buildings that are not constructed of wood or brick. Wherever possible, existing wood siding should be retained, repaired and repainted.
- Any wall should be built of not more than two materials, and those materials should change along a horizontal line such as a floor line or gable end – with the heavier material (brick) always being below the lighter material.
- Buildings with siding will construct their foundation walls and piers with finished brick. These walls should be no less than 24 inches above grade, but should not exceed 36 inches, unless grade changes dictate more.
- Retaining walls at frontages and in front yards should be built of brick. Retaining walls not visible from the street can be brick, interlocking block or smooth finished concrete.
- Openings in walls such as arcades or breezeways should have vertically proportioned openings (see following section on "Openings").

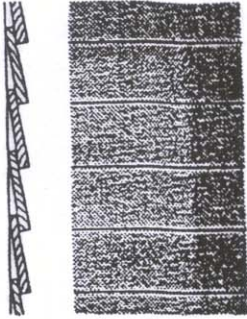


Appropriate Material Transition



*24" Brick Foundation
Maximum Before Siding*

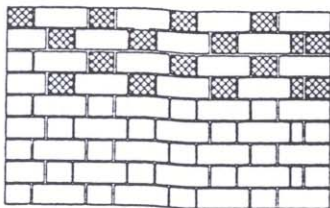
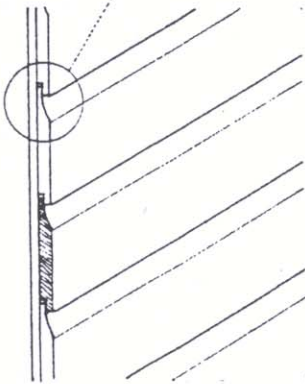
Acceptable Materials for Exterior Walls



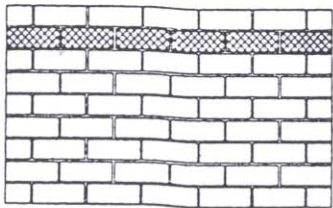
Clapboard Siding

shiplap

A flush, overlapping joint, as a rabbet, between two boards joined edge to edge. Also, the boarding joined with such overlapping joints.



Flemish Bond



Running Bond

- Clapboard wood siding (painted). Beaded siding is preferred.
- Board and batten siding (painted).
- Tongue and Groove vertical wood siding (painted).
- A synthetic siding that resembles authentic horizontal wood siding (i.e. Hardiplank, Cemplank) if criteria met above and approved by the Board on a case-by-case basis.
- Shiplap vertical wood siding (painted).
- Wood shingles (painted).
- Brick that is consistent with the brick traditionally used in the area. All of these shall have a buff or gray mortars. White mortar is not recommended.

Acceptable Color for Exterior Walls

- Wood siding and trim on buildings must be stained or sealed a natural earth tone or should be painted using colors from the Martin Senour "Williamsburg" exterior paint colors or from the Sherwin Williams "Preservation Palette." The latter's "Postwar Romanticism" selection is excluded from the approved colors. Painted siding and trim should be limited to two colors unless additional colors are approved by the Board on a case-by-case basis.

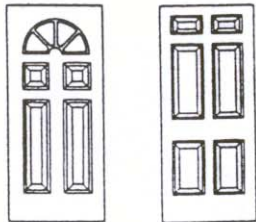
Unacceptable Materials for Exterior Walls

- Metal siding that is exposed, galvanized, aluminum or other shiny metal materials.
- Stucco and drivit.
- Aluminum and vinyl siding.
- Tile-faced or ceramic-faced masonry units.
- Varnished, epoxy-finished or otherwise shiny materials.
- White mortar.

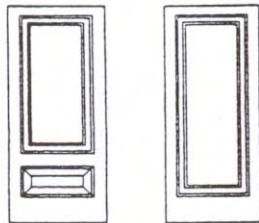
Unacceptable Colors for Exterior Walls

- Brick that is bright red, orangish-red, pink, light red, or other colors. Brick color should be a through-the-body color.
- Siding that is pink, bright silver, red, bright green blue, or a color that would draw attention or be otherwise visually out of character with the area.

Openings



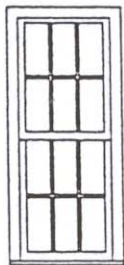
Front Door Example



Screen Door Example



*Semi-circular
Window Example*

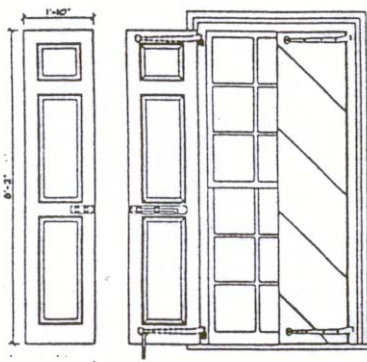


*Double Hung Window
Example with Strong
Vertical Proportions*

- Openings include doors and windows and any associated elements such as shutters, awnings, storm doors, etc.
- Entrance doors should be raised panel or some variation thereof. Windows, side lights and transoms in entrance doors are permitted, provided they are proportioned and appropriate for the specific style of building. Flush doors with applied trim are not permitted.
- Storm doors should be made of painted wood or anodized aluminum and have a full view window. Storm doors should relate to the architectural character of the entrance.
- Screen doors should be made of wood with full view, shuttered, or appropriate for the specific style of the building.
- Garage doors, utility doors, and service doors should be painted wood or aluminum and should correspond with the style of the dwelling.
- Windows should be rectangular single, double, or triple hung or operable casement type. Semi-circular, circular, or hexagonal windows are permitted, but with minimal application. Windows on the ground floor should be the same proportion but slight larger than windows on the upper floors. Window openings in upper stories should be centered directly over openings in the first story whenever possible. Openings in gable ends must be centered. Window openings should be at least 2 feet from building corners. Total glazed area on the street frontage should not exceed 30 percent of the total surface.

Window muntins should be true-divided lights or simulated true divided aluminum clad wood.

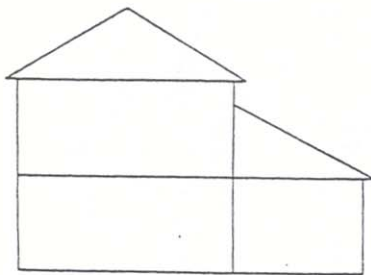
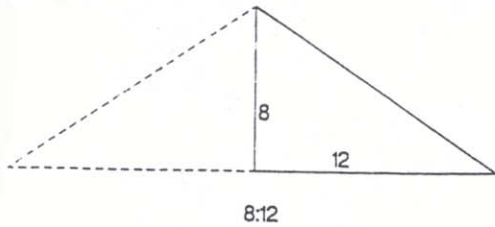
- Windows contribute to the façade of a building and will be evaluated on: (1) the pattern of the openings and their size; (2) proportions of the frame and sash; (3) configuration of window panes; (4) muntin profiles; (5) material; (6) paint color; (7) characteristics of the glass; and (8) details or decorative elements. If windows are divided then exterior muntins are required in this district.
- Windows for buildings listed on the City's Listing of Locally Significant Architecture and Areas shall meet the following criteria in the order listed:
 1. Restore original, i.e., repair existing sash and frames - careful repair is always the first choice.
 2. Copies of original, i.e., replace existing sash and frames with duplicates in wood following the early form and details.
 3. Replacement, i.e., with single-glazed wooden windows of the same form and details but with energy panels set on the inside. The energy panels can be secured with Velcro or magnets to the inner frame.
 4. Replacement, i.e., with double insulated wooden sash with true-divided lights, using other than mill (silver) finish. The frames and sash arrangements (proportion and size of panes) should match the early sash.



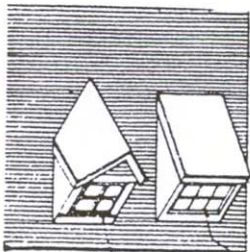
- Shutters should be made of wood (painted), operable including appropriate hardware, and sized to fit the opening. Shutters should not appear to be attached permanently to the wall. The use of vinyl shutters is not appropriate.
- Fabric awnings on residential buildings should be made of canvas or other similar fabric and should have side panels. Aluminum awnings are not appropriate.
- Fabric awnings on commercial buildings should be made of canvas or other similar fabric (aluminum awnings are not recommended) and should have side panels.

- Openings in porches or arcades should always be vertically proportioned.

Roofs



Single Plane Roof on Wing



shed dormer
A dormer having a shed roof.
gable dormer
A dormer having a gable roof.

12" Overhang



*Gravel Used at Drip Line
Should Extend from
Foundation To Just Beyond
Drip Line*

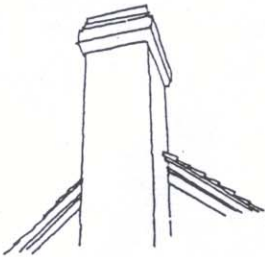
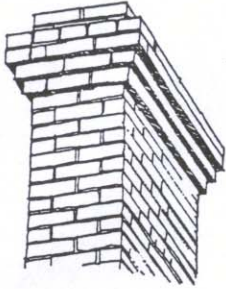
- The types of wood-framed roofs typically fall into categories of symmetrical gables, gambrels, or hip roofs. Gables are the most prevalent. Primary roofs should have slopes no less than 8:12. Secondary roofs may have slopes less than 8:12 depending on the material used (i.e. metal roof over porches can be less than 8:12, whereas a shingled roof should not be less than 8:12). On residential structures, flat roofs should be used only as occupiable areas directly accessible from outdoors. These must have appropriate parapets or railings.
- Steep gable roofs like the "Swiss Chalet" shall not be used (pitches in excess of 12:14).
- Single plane pitched roofs for houses shall not be used on the main house but can be used on wings.
- Roofs over secondary entrances shall be shed roofs supported by wooden brackets.
- Dormers should have gabled, hipped, or shed roofs.
- Roof materials should be wood shingles, architectural grade fiberglass shingles or cementitious shingles. Metal roofs are recommended for porch roofs or other ancillary elements. Metal should be copper or galvalume type. Colored anodized metal roofs should be gray or other neutral tones. Flashing may be copper, vinyl or anodized aluminum. (Note: copper roofs, gutters, and flashing should not be painted or sealed but should be permitted to age naturally). Gutters and downspouts should be made of copper or anodized aluminum and may be half-round or ogee. Where gutters are not used, it is recommended that brick or gravel be placed at the drip line.
- Gable roof ends should have a minimum overhang of 12 inches.
- Roof penetrations should be on the rear slope of roofs and painted to match the color of the roof. Skylights should be flat and mounted on the rear slope of the roof and should not be visible from any public area.

[illegible]

- ### Unacceptable Roofing Material

- 8

- Ceramic or synthetic ceramic roofing tiles.
- Metal shingles or stamped metal decorative roofing panels.
- Flat roofs.
- Plastic, vinyl or other high visibility synthetic roofs.
- Shiny metal roof vents, fireplace stacks, plumbing vents, or other pipes.

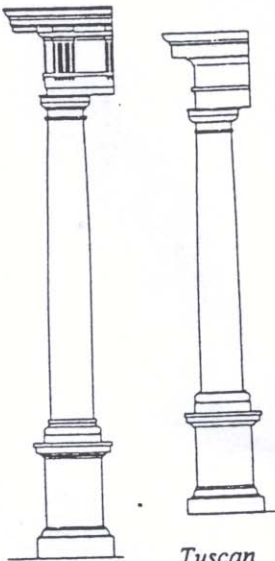


Chimneys

- Chimneys can be used but are not required. They should be constructed of brick (unpainted) or if constructed with the same material as the siding of the building, painted to match the building. Stucco is not permitted. Chimneys should be capped to conceal spark arresters. Primary chimneys should be rectilinear in plan and are preferred to have a corbelled termination in keeping with existing types.

Porches

- Porches are another common element on residential buildings.
- In general, porches with a narrow frontage should be no less than 6 feet deep, while porches with a wide frontage should be at least 8 feet deep. Screened porches must be framed with painted wood and located on the side or rear of structures. Lighting on porches should be discrete.



Doric

Tuscan

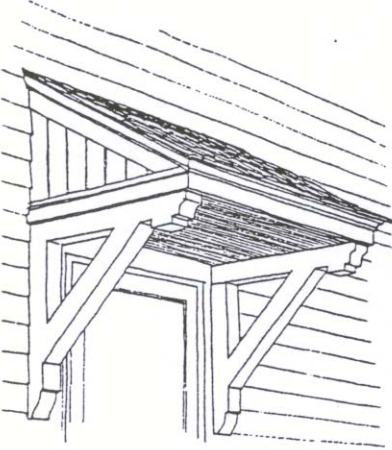
Columns, Posts

- Columns are preferred to be Tuscan or Doric orders, although other types exist within the area. When used, columns should have correct proportions and profiles as described in *The American Vignola*. Nothing should be attached to columns. Columns should be made of wood, although certain grades of fiberglass columns are acceptable. Flagpoles under 6 feet long may be mounted at an angle to building walls.
- All posts should be no less than 5 x 5 inches and have chamfered corners.

- Columns and posts should be sealed with paint or opaque stain.

Decks, Terraces

- Modern designed decks are not appropriate in this district.
- Brick or wooden terraces or open porches are more appropriate and should be designed to match the style of building.
- Terraces and open porches must be painted or stained to match the main building.

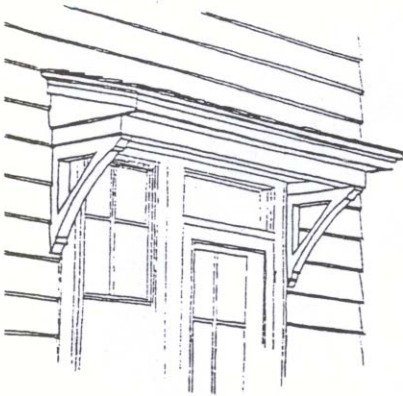


Stoops

- Stoops at secondary entrances should be made of brick or concrete. If made of concrete; the sidewalls and stair risers should be made of brick. As stated above, roofs with overhanging stoops are typically shed-type roofs supported by wooden brackets.

Railings

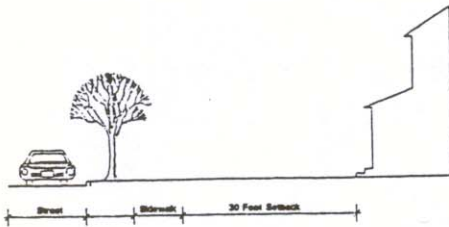
- Railings should have top and bottom rails and spindles or balusters are to be vertical and centered on the top and bottom rails. Spaces between wood rails should be tighter than on metal rails. Top rails of wood railings should have an eased profile, while the bottom rail profile may be rectangular. Wood railings should be sealed with paint or opaque primer.



Outbuildings

- Outbuildings are permitted and must conform to standard property line setback requirements.
- Outbuildings must meet the same criteria for the main building (i.e. walls, openings and roof).
- If not constructed of brick, outbuildings must be painted or stained to match the main building.
- Metal outbuildings are not permitted.

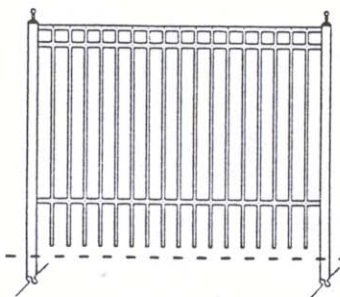
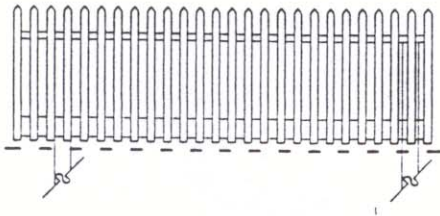
Residential Siting



Typical Setback

- First-story floors should be raised above sidewalk grade a minimum of 2 feet, except for garages which may be at grade.
- Exterior light fixtures should be compatible with existing types and placed so that they do not create glare for adjacent properties.
- Pre-fabricated above-surface swimming pools and spas should be permitted in the rear yard.
- Pre-fab storage sheds shall not be permitted.
- Equipment such as HVAC units, utility meters, direct-vent fireplaces, clotheslines, play equipment, hot tubs, etc should be placed in the rear yard.

Fences



- Fences should contribute to the site's character and not detract from the site's principal architectural features and should be compatible with adjacent sites in the neighborhood.
- Fences should be similar to existing materials within the site and within the surrounding neighborhood.
- Fences are discouraged which disrupt the harmony of the streetscape by breaking up established architectural rhythms.
- Wood, aluminum or wrought iron fences that are in keeping with the residential scale of fences in the neighborhood are permitted.
- Salt-treated wooden fences must be painted or stained.
- Wrought iron is more appropriate as architectural ornamentation and as fencing for large parcels of land such as the existing fence at Matthew Whaley School.
- Chain-link, wire, plastic, and vinyl fences are not permitted.

Other Site Elements

- Site elements should contribute to the site's character and not detract from the site's principal architectural features and should be compatible with adjacent sites in the neighborhood.
- Materials for driveways and walkways should be similar to existing materials within the site and within the surrounding neighborhood.
- Mechanical equipment, utilities and trash facilities should be located unobtrusively on the site in side and rear yards and should be screened if they are visible from the street and adjacent properties by a fence or appropriate vegetation.

DESIGN REVIEW GUIDELINES

ARCHITECTURAL PRESERVATION DISTRICT ZONE 2



ARCHITECTURAL PRESERVATION DISTRICTS

In the **Architectural Preservation District**, designs for new buildings should be compatible with the neighboring buildings. New buildings need not imitate existing buildings in order to be compatible. Well-designed buildings that respect the scale and character of the existing buildings but in a modern idiom, such as the Kinnamon Townhouses on North Boundary Street, can be successful infill projects in older neighborhoods. Due to different characteristics of dwellings in the **Architectural Preservation District** the District is broken into three zones; the APD zone 1 which contains the older neighborhoods in the City, APD zone 2 contains the Center City Area and APD zone 3 contains post World War II Colonial Revival and more modern style dwellings such those located in Pinecrest, Capitol Court and West Williamsburg Heights. Each zone in the **Architectural Preservation District** has it's own character and thereby it's own guidelines.



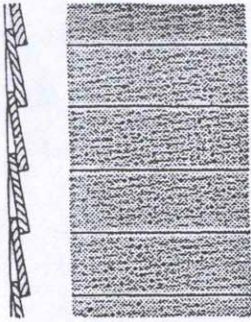
ARCHITECTURAL PRESERVATION DISTRICT ZONE 2 (APD ZONE 2)

Architectural Preservation District Zone 2 encompasses the Center City area. The boundaries are CW historic district to the east, Prince George Street to the south, Boundary Street and Armistead Avenue to the west, and Lafayette Street to the north as shown on the Zone 2 map. The architectural character of the area varies from street to street, depending on whether an area is residential or commercial. However, there is a cohesiveness within each area that is a result of consistent application over time of particular materials, elements, and methods of construction.

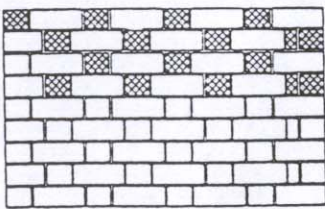
The purpose of these guidelines is to describe a range of prescriptive architectural practices that can be employed in numerous ways, but still assure that any new construction or alteration of existing structures will be done in such a way as to complement and contribute to the existing scale and character of the area.

Architectural Elements

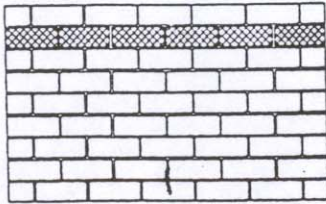
Walls



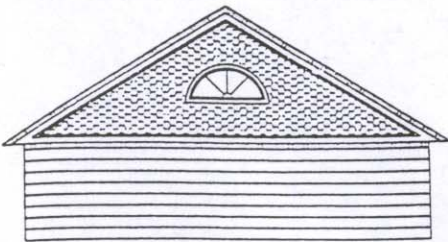
Clapboard Siding



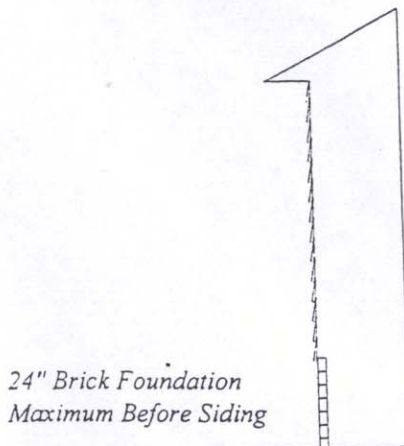
Flemish Bond



Running Bond



Appropriate Material Transition



*24" Brick Foundation
Maximum Before Siding*

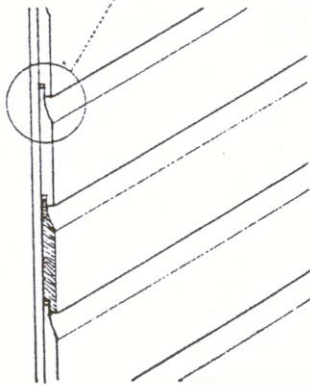
- There is a limited range of materials that are used in the construction of building walls in the Center City area, but they are used in a variety of highly expressive ways. The materials used are typically wood siding and brick. Vinyl, aluminum, composite, and panel boards should not be used.
- Wood siding should be horizontal clapboard (beaded edge or beveled) with approximately 6 inches to the weather. Cedar shingles may also be used on particular elements of a building, such as dormers or attic-level gable ends. In general, shingles may be combined with wood siding when the material change occurs horizontally, typically at a floor line or gable end. These shingles may be square cut or scalloped with a maximum of 10 inches to the weather. All wood siding and shingles should be sealed with paint or opaque stain. Trim should be made of trim-grade lumber, not to exceed 2 inches in actual thickness, 6 inches in width at corners and 4 inches around openings – except for the front door which can be of any size or configuration.
- Brick walls should be made out of wood molded brick if possible. Wire cut brick should only be used for painted surfaces. Wire cut brick should not be used for unpainted exteriors.
- Any wall should be built of not more than two materials, and those materials should change along a horizontal line such as a floor line or gable end – with the heavier material (brick) always being below the lighter material.
- Buildings with siding will construct their foundation walls and piers with finished brick. These walls should be no less than 24 inches above grade, but should not exceed 36 inches, unless grade changes dictate more.
- Garden walls should be finished in brick or wood (painted or opaque stain—see section on fences). Gates in garden walls should be wood or wrought iron.

- Retaining walls at frontages and in front yards should be built of brick. Retaining walls not visible from the street can be brick or smooth finished concrete.
- Openings in walls such as arcades or breezeways should have vertically proportioned openings (see following section on “Openings”).

Acceptable Materials for Exterior Walls

shiplap

A flush, overlapping joint, as a rabbet, between two boards joined edge to edge. Also, the boarding joined with such overlapping joints.



- Clapboard wood siding (painted). Beaded siding is preferred.
- Board and batten wood siding (painted).
- Tongue and Groove vertical wood siding (painted).
- Shiplap vertical wood siding (painted).
- Wood shingles (painted).
- Brick that is consistent with the brick traditionally used in the area. All of these shall have buff or gray mortars. White mortar is not recommended.
- Painted brick walls will have an opaque finish.

Acceptable Colors for Exterior Walls

- Wood siding and trim on buildings must be stained or sealed a natural earth tone or should be painted using colors from the Martin Senour “Williamsburg” exterior paint colors or from the Sherwin Williams “Preservation Palette.” The latter’s “Postwar Romanticism” selection is excluded from the approved colors. Painted siding and trim should be limited to two colors unless additional colors are approved by the Board on a case-by-case basis.

Unacceptable Materials for Exterior Walls

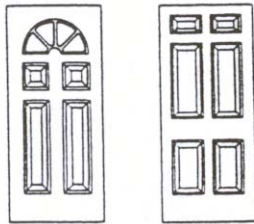
- Metal siding that is exposed, galvanized, aluminum or other shiny metal materials.
- Stucco or drivit.
- Aluminum or vinyl siding.

- Tile-faced or ceramic-faced masonry units.
- Varnished, epoxy-finished or otherwise shiny materials.
- White mortar.

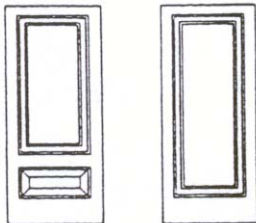
Unacceptable Colors for Exterior Walls

- Brick that is bright red, orangish-red, pink, light red, or other colors. Brick color should be a through-the-body color.
- Siding that is pink, bright silver, red, bright green blue or a color that would draw attention or be otherwise visually out of character with the area.

Openings



Front Door Example



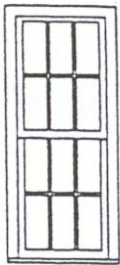
Screen Door Example

- Openings include doors and windows and any associated elements such as shutters, awnings, storm doors, etc.
- Entrance doors should have sidelights and transoms if possible. Windows in entrance doors are permitted and should be vertically proportioned. The doors themselves should be raised panel or some variation thereof. Flush doors with applied trim are not permitted.
- Storm doors should be made of painted wood or anodized aluminum and should be a full view window. Storm doors should relate to the architectural character of the entrance.
- Garage doors, utility doors, and service doors shall not face the street.
- Windows should be rectangular single, double, or triple hung or operable casement type. Semi-circular, circular, or hexagonal windows are permitted, but with minimal application. Windows on the ground floor should be the same proportion but slight larger than windows on the upper floors. Window openings in upper stories should be centered directly over openings in the first story whenever possible. Openings in gable ends must be centered. Window

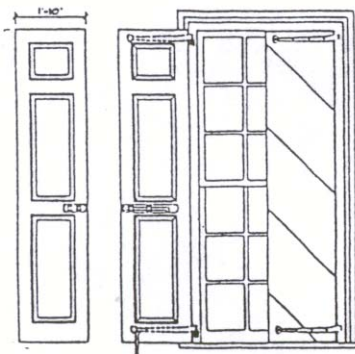
openings should be at least 2 feet from building corners. Total glazed area on the street frontage should not exceed 30 percent of the total surface. Window muntins should be true-divided lights. Glazed panels should be square or vertical in proportion. All glazing is to be clear glass. Window frames are to be made of painted wood, vinyl clad wood, or pre-finished aluminum clad wood.



*Semi-circular
Window Example*



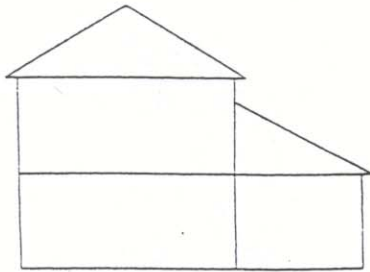
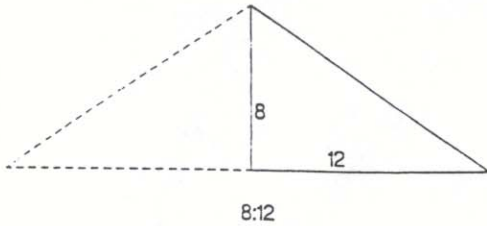
*Double Hung Window
Example with Strong
Vertical Proportions*



- Windows for buildings listed on the City's Listing of Locally Significant Architecture and Areas shall meet the following criteria in the order listed:
 1. Restore original, i.e., repair existing sash and frames - careful repair is always the first choice.
 2. Copies of original, i.e., replace existing sash and frames with duplicates in wood following the early form and details.
 3. Replacement, i.e., with single-glazed wooden windows of the same form and details but with energy panels set on the inside. The energy panels can be secured with Velcro or magnets to the inner frame.
 4. Replacement, i.e., with double insulated wooden sash with true-divided lights, using other than mill (silver) finish. The frames and sash arrangements (proportion and size of panes) should match the early sash.
- Shutters should be made of wood (painted), operable including appropriate hardware, and sized to fit the opening. Shutters should not appear to be attached permanently to the wall. The use of vinyl shutters is not appropriate.
- Fabric awnings on residential buildings should be confined to the side and rear elevations. These awnings should be made of canvas or other similar fabric (aluminum awnings are not recommended) and should not have side panels.
- Fabric awnings on commercial buildings should be made of canvas or other similar fabric (aluminum awnings are not recommended) and should have side panels.

- Openings in porches or arcades should always be vertically proportioned.

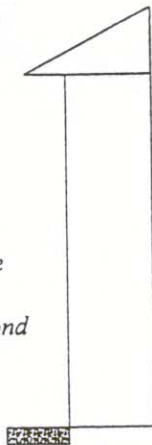
Roofs



Single Plane Roof on Wing

12" Overhang

*Gravel Used at Drip Line
Should Extend from
Foundation To Just Beyond
Drip Line*

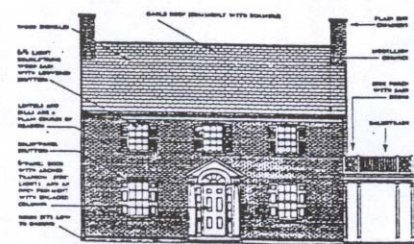
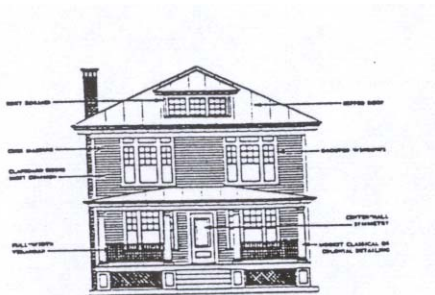


- Institutional buildings have some variety of roof types but are typically flat. Residential and commercial roofs are more varied but certain styles and construction methods dominate.
- The types of wood-framed roofs typically fall into categories of symmetrical gables, gambrels, or hip roofs. Gables are the most prevalent. Primary roofs should have slopes no less than 8:12. Secondary roofs may have slopes less than 8:12 depending on the material used (i.e. metal roof over porches can be less than 8:12, whereas a shingled roof should not be less than 8:12). On residential structures, flat roofs should be used only as occupiable areas directly accessible from outdoors. These must have appropriate parapets or railings.
- Steep gable roofs like the "Swiss Chalet" shall not be used (pitches in excess of 12:14).
- Single plane pitched roofs for houses shall not be used on the main house but can be used on wings.
- Roofs over secondary entrances shall be shed roofs supported by wooden brackets.
- Dormers should have gabled, hipped, or shed roofs.
- Roof materials should be wood shingles, architectural grade asphalt shingles or cementitious shingles. Metal roofs are recommended for porch roofs or other ancillary elements. Metal should be copper or gavalume type. Colored anodized metal roofs should be gray or other neutral tones. Flashing may be copper, vinyl or anodized aluminum. (Note: copper roofs, gutters, and flashing should not be painted or sealed but should be permitted to age naturally). Gutters and downspouts should be made of copper or anodized aluminum and may be half-round or ogee. Where gutters are not used, it is recommended that brick or gravel be placed at the drip line.

- Gable roof ends should have a minimum overhang of 12 inches.
- Roof penetrations should be on the rear slope of roofs and painted to match the color of the roof. Skylights should be flat and mounted on the rear slope of the roof and should not be visible from any public area.

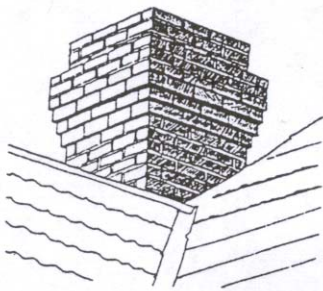
Acceptable Roofing Material

- Wood shingles that are permitted to weather naturally.
- Treated wood shingles or shakes, which have a natural gray color.
- Standing seam copper roofs that are permitted to weather naturally.
- Architectural grade (includes dimensional shingles) fiberglass shingles with texture. The colors of these shingles shall be medium to dark gray, charcoal, or grayish buff. Generally, soft earth tone colors that are medium to dark value.
- Slate that is medium gray or charcoal color.
- Textured concrete shingles in gray or buff-gray color.
- Standing seam metal roofs, which are medium gray, dark gray, grayish brown, black, charcoal gray, or dark grayish-brown. Colors should be soft earth tone, of medium to dark value, with low reflectivity.
- Roof vents, metal chimneys, metal chimney caps, and plumbing vents shall match the color of the roof or would be black, dark gray, or bronze in color.
- Plastic vents should be painted to match the roof and should be on the back side and not on the street side.
- Skylights should have black, bronze, or gray trim. Skylights should not be placed on the front elevation.



Unacceptable Roofing Material

- Shiny metal roofs.
- Shiny metal, exposed aluminum or exposed galvanized metal roofs.
- Metal roofs of the following colors; white, light tan, pink, red, maroon, light blue, medium blue, dark blue, bright green, medium gray, orange, brownish-orange, etc. Metal roofs that attract attention by their color, contrast, brightness, and reflectivity are discouraged.
- Ceramic or synthetic ceramic roofing tiles.
- Metal shingles or stamped metal decorative roofing panels.
- Flat roofs.
- Plastic, vinyl or other high visibility synthetic roofs.
- Shiny metal roof vents, fireplace stacks, plumbing vents, or other pipes.

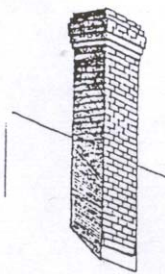


Chimneys

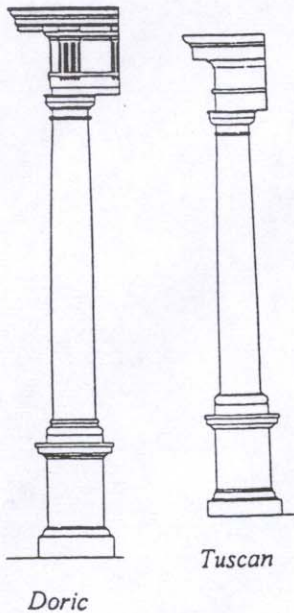
- Chimney can be used but are not required. They should be made of brick, painted, or left natural. Stucco is not permitted. Chimneys should be capped to conceal spark arresters. Primary chimneys should be rectilinear in plan and are preferred to have a corbelled termination in keeping with existing types.

Porches

- Porches are another common element on residential buildings. Most of these are front porches, but there are examples of wrap-around porches as well.
- In general, porches with a narrow frontage should be no less than 6 feet deep, while porches with a wide frontage should be at least 8 feet deep. Screened porches must be framed with painted wood and located on the side or rear of structures. Lighting on porches should be discrete.



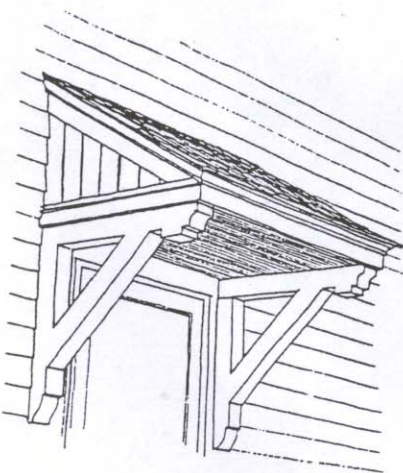
Columns, Posts



- Columns are preferred to be Tuscan or Doric orders, although other types exist within the area. When used, columns should have correct proportions and profiles as described in *The American Vignola*. Nothing should be attached to columns. Columns should be made of wood, although certain grades of fiberglass columns are acceptable. Flagpoles under 6 feet long may be mounted at an angle to building walls.
- All posts should be no less than 5 x 5 inches and have chamfered corners.
- Columns and posts should be sealed with paint or opaque stain.

Decks, Terraces

- Modern designed decks are not appropriate in this district.
- Brick or wooden terraces or open porches are more appropriate and should be designed to match the style of building.
- Terraces and open porches must be painted or stained to match the main building.



Stoops

- Stoops at secondary entrances should be made of brick or concrete. If made of concrete; the sidewalls and stair risers should be made of brick. As stated above, roofs with overhanging stoops are typically shed-type roofs supported by wooden brackets.

Railings

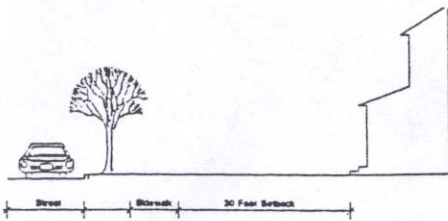
- Railings should have top and bottom rails and spindles or balusters are to be vertical and centered on the top and bottom rails. Spaces between wood rails should be tighter than on metal rails. Top rails of wood railings should have an eased profile, while the bottom rail profile may be rectangular. Wood railings should be sealed with paint or opaque primer.

Outbuildings

- Outbuildings are permitted and must conform to standard property line setback requirements. Outbuildings are to be wood framed on a brick foundation with gabled or hipped roofs. Cladding should be wood clapboard or shingles.
- Outbuildings must be painted or stained to match the main building.
- Pre-fab metal outbuildings are not permitted.

Residential Siting

- Maximum building height should not exceed two full stories.
- First-story floors should be raised above sidewalk grade a minimum of 2 feet, except for garages which may be at grade.
- Exterior light fixtures should be compatible with existing types and placed so that they do not create glare for adjacent properties.
- Pre-fabricated above-surface swimming pools shall not be permitted; spas shall be screened from view.
- Pre-fab summer houses, and pre-fab storage sheds shall not be permitted.
- Equipment such as HVAC units, utility meters, direct-vent fireplaces, clotheslines, play equipment, hot tubs, etc should be placed in the rear yard. If located on a roof it must be screened by an element of the building.

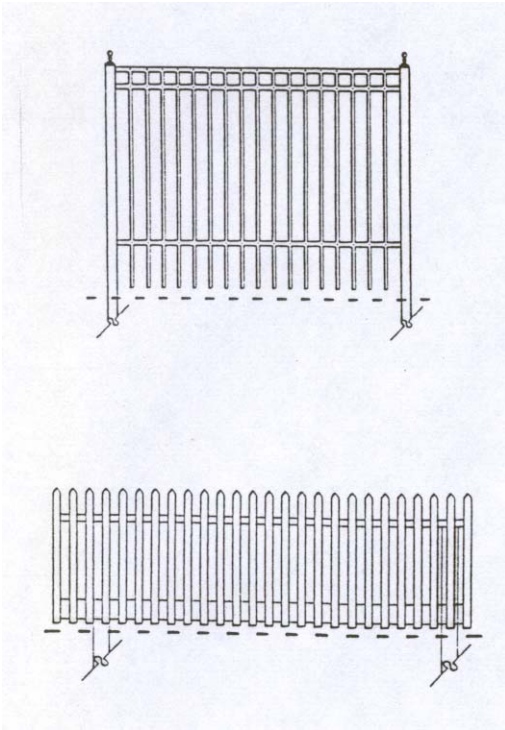


Typical Setback



Fences

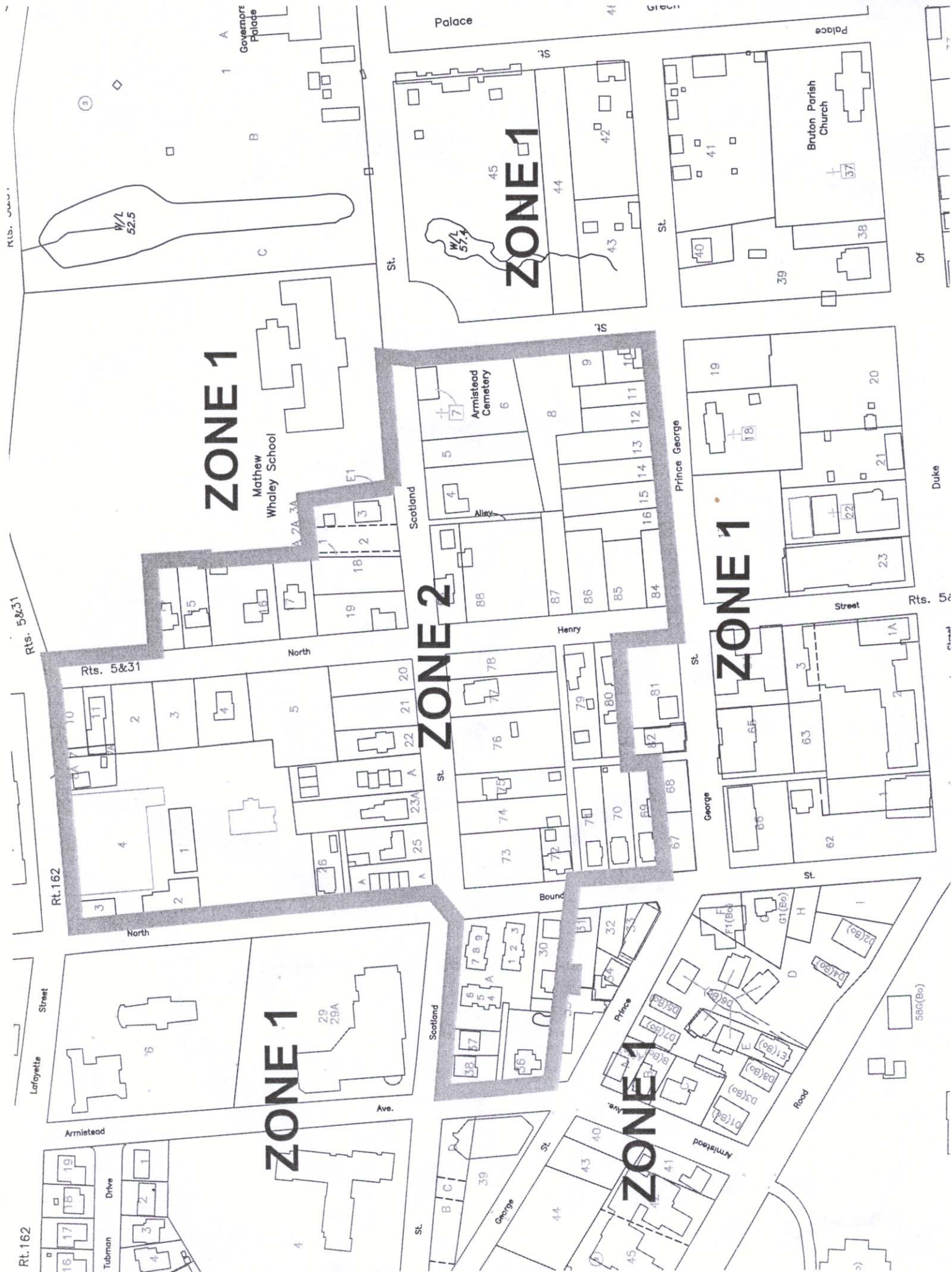
- Fences should contribute to the site's character and not detract from the site's principal architectural features and should be compatible with adjacent sites in the neighborhood.
- Fences should be similar to existing materials within the site and within the surrounding neighborhood.



- Fences are discouraged which disrupt the harmony of the streetscape by breaking up established architectural rhythms.
- Wooden, aluminum or wrought iron fences that are in keeping with the residential scale of fences in the neighborhood are permitted.
- Salt-treated wooden fences must be painted or stained.
- Wrought iron is more appropriate as architectural ornamentation and as fencing for large parcels of land such as the existing fence at Matthew Whaley School.
- Chain-link, wire, plastic, and vinyl fences are not permitted.

Other Site Elements

- Site elements should contribute to the site's character and not detract from the site's principal architectural features and should be compatible with adjacent sites in the neighborhood.
- Materials for driveways and walkways should be similar to existing materials within the site and within the surrounding neighborhood.
- Mechanical equipment, utilities and trash facilities should be located unobtrusively on the site in side and rear yards and should be screened if they are visible from the street and adjacent properties by a fence of appropriate vegetation.



DESIGN REVIEW GUIDELINES

ARCHITECTURAL PRESERVATION DISTRICT ZONE 3



ARCHITECTURAL PRESERVATION DISTRICTS

In the **Architectural Preservation District**, designs for new buildings should be compatible with the neighboring buildings. New buildings need not imitate existing buildings in order to be compatible. Well-designed buildings that respect the scale and character of the existing buildings but in a modern idiom, such as the Kinnamon Townhouses on North Boundary Street, can be successful infill projects in older neighborhoods. Due to different characteristics of dwellings in the **Architectural Preservation District** the District is broken into three zones; the APD zone 1 which contains the older neighborhoods in the City, APD zone 2 contains the Center City Area and APD zone 3 contains post World War II Colonial Revival and more modern style dwellings such those located in Pinecrest, Capitol Court and West Williamsburg Heights. Each zone in the **Architectural Preservation District** has it's own character and thereby it's own guidelines.

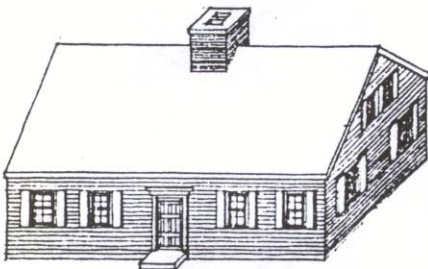
Architectural Preservation District Zone 3 (APD Zone 3)

This zone contains neighborhoods that were constructed post World War II Colonial Revival and a more modern style which include the Pinecrest Subdivision, West Williamsburg Heights Subdivision, and Capitol Court.

The purpose of these guidelines is to describe a range of prescriptive architectural practices that can be employed in numerous ways, but still assure that any new construction or alteration of existing structures will be done in such a way as to complement and contribute to the existing scale and character of the area.

General Design Criteria

- New architecture should not replicate or imitate historic buildings, but be an evolution of and compatible with Williamsburg's design traditions, forms and materials. Replications of 18th century buildings in the Colonial Williamsburg historic area or elsewhere are not acceptable. Revivalist style buildings can be faithful to and compatible with the architectural traditions of this locale without being copies of ones in the restored area.



- Traditional architecture styles associated with Williamsburg include Colonial Revival, Georgian Revival, and Tidewater Virginia Vernacular. These styles provide flexibility of design and innovative possibilities for responding to the existing pattern of development, thus fitting into and building up patterns in the cityscape. Adaptations of these prevalent architectural styles ensure long-term compatibility with the city and enhance opportunities for adaptive use of buildings.
- New construction designs should be avoided which create unbalanced visual images in the City. For example, in a neighborhood of two-story, vertically oriented houses (Colonial Revival, Victorian, etc,) an infill project with a one-story, horizontally oriented design such as a Ranch house may not be appropriate.
- The designer for infill construction should examine and evaluate the structural and natural forms that will affect the project and should creatively design a compatible solution that respects the scale and palette of neighboring architectural features.
- Side and rear elevations should contain the same design elements and materials as the front façade.

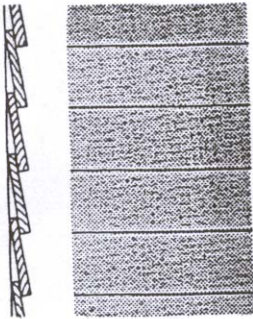
Architectural Elements

Walls

- There is a wide range of materials that are used in the construction of building walls in these neighborhoods. The materials used are typically brick, wood, vinyl, aluminum, composite, and asphalt siding, which are permitted.
- Wood siding should be horizontal with approximately 6 inches to the weather. Cedar shingles may also be used on particular elements of a building, such as dormers or attic-level gable ends. In general, shingles may be combined with wood siding when the material change occurs horizontally, typically at a floor line or gable end. These shingles may be square cut or scalloped with a maximum of 10 inches to the weather. All wood siding and shingles should be sealed with paint or opaque stain. Trim should be made of trim-grade lumber, not to exceed 2 inches in

actual thickness, 6 inches in width at corners and 4 inches around openings – except for the front door which can be of any size or configuration.

- Any wall should be built of not more than two materials, and those materials should change along a horizontal line such as a floor line or gable end – with the heavier material (brick) always being below the lighter material.
- Buildings with siding will construct their foundation walls and piers with finished brick. These walls should be no less than 24 inches above grade, but should not exceed 36 inches, unless grade changes dictate more.
- Retaining walls at frontages and in front yards should be built of brick. Retaining walls not visible from the street can be brick or smooth finished concrete.
- Openings in walls such as arcades or breezeways should have vertically proportioned openings (see following section on “Openings”).



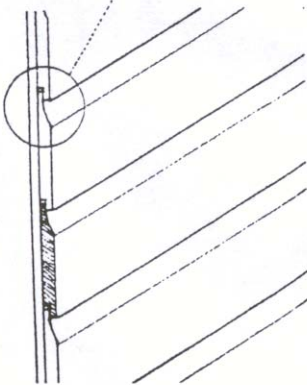
Clapboard Siding

Acceptable Materials for Exterior Walls

- Clapboard wood siding (painted). Beaded siding is preferred.
- Board and batten wood siding (painted).
- Tongue and Groove vertical wood siding (painted).
- Shiplap vertical wood siding (painted).
- Wood shingles (painted).
- A synthetic siding that resembles authentic horizontal wood siding (i.e. Hardiplank) may be acceptable for new buildings or as replacement material for siding on existing buildings that are not constructed of wood or brick. Wherever possible, existing wood siding should be retained, repaired and repainted.

shiplap

A flush, overlapping joint, as a rabbet, between two boards joined edge to edge. Also, the boarding joined with such overlapping joints.



- Vinyl siding meeting the following requirements:
Standard: ASTM D3679 is the accepted industry standard for quality.
Thickness: A minimum thickness of 0.042 inches is required for impact resistance and durability.
Style: A beaded siding with a minimum of 6.5 inches of exposure is required.
Color: White, ivory, and other soft, colonial style colors are recommended.
Applicants must provide specifications of their vinyl siding and trim details with their application. The specifications must address the items listed above. When applying vinyl siding it is important to consider retaining trim details with their applications.
- Brick with buff or gray mortars. White mortar is not recommended.
- The painting of unpainted natural brick surfaces is discouraged. If extenuating circumstances exist that require the painting of natural brick then the Board will review these circumstances on a case-by-case basis.

Acceptable Color for Exterior Walls

- Wood siding and trim on buildings must be stained or sealed a natural earth tone or should be painted using colors from the Martin Senour “Williamsburg” exterior paint colors or from the Sherwin Williams “Preservation Palette.” The latter’s “Postwar Romanticism” selection is excluded from the approved colors. Unless approved by the Board on a case-by-case basis, painted siding and trim should be limited to two colors.

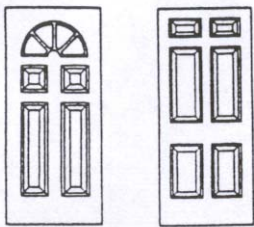
Unacceptable Materials for Exterior Walls

- Metal siding that is exposed, galvanized, aluminum or other shiny metal materials.
- Stucco and drivit.
- Tile-faced or ceramic-faced masonry units.
- Varnished, epoxy-finished or otherwise shiny materials.
- White mortar.

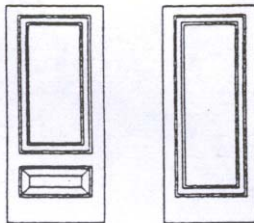
Unacceptable Color for Exterior Walls

- Brick that is bright red, orangish-red, pink, light red, or other colors. Brick color should be a through-the-body color.
- Siding that is pink, bright silver, red, bright green blue, or colors that would draw attention or be otherwise visually out of character with the area.

Openings

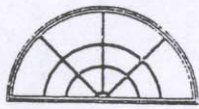


Front Door Example

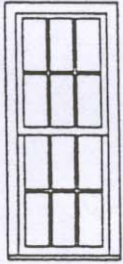


Screen Door Example

- Openings include doors and windows and any associated elements such as shutters, awnings, storm doors, etc.
- Entrance doors and windows in entrance doors should be vertically proportioned. The doors themselves should be raised panel or some variation thereof. Flush doors with applied trim are not permitted.
- Storm doors should be made of painted wood or anodized aluminum and should be a full view window. Storm doors should relate to the architectural character of the entrance.
- Garage doors, utility doors, and service doors may face the street.
- Windows should be rectangular single, double, or triple hung or operable casement type. Semi-circular, circular, or hexagonal windows are permitted, but with minimal application. Windows on the ground floor should be the same proportion but slight larger than windows on the upper floors. Window openings in upper stories should be centered directly over openings in the first story whenever possible. Openings in gable ends must be centered. Window openings should be at least 2 feet from building corners. Total glazed area on the street frontage should not exceed 30 percent of the total surface. Interior window muntins are permitted. Glazed panels should be square or vertical in proportion. All glazing is to be clear glass. Window frames are to be made of painted wood, vinyl clad wood, or pre-finished aluminum clad wood.



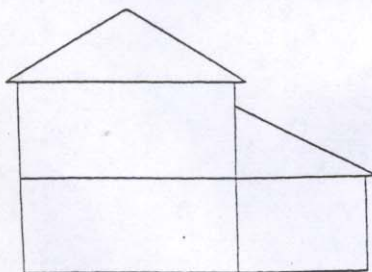
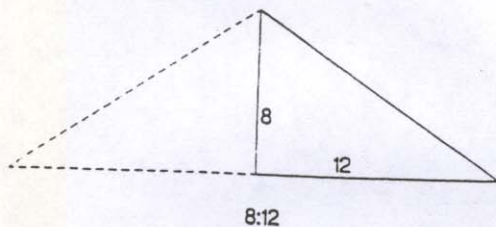
*Semi-circular
Window Example*



*Double Hung Window
Example with Strong
Vertical Proportions*

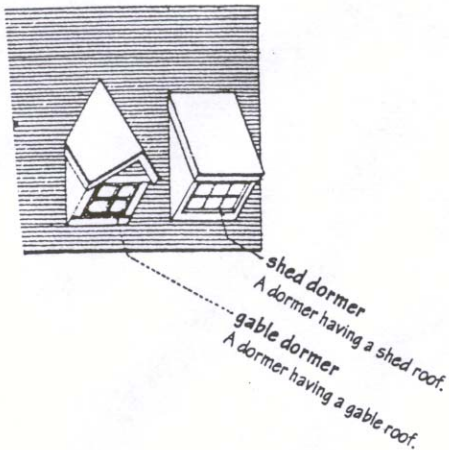
- Windows for buildings listed on the City's Listing of Locally Significant Architecture and Areas shall meet the following criteria in the order listed:
 1. Restore original, i.e., repair existing sash and frames - careful repair is always the first choice.
 2. Copies of original, i.e., replace existing sash and frames with duplicates in wood following the early form and details.
 3. Replacement, i.e., with single-glazed wooden windows of the same form and details but with energy panels set on the inside. The energy panels can be secured with Velcro or magnets to the inner frame.
 4. Replacement, i.e., with double insulated wooden sash with true-divided lights, using other than mill (silver) finish. The frames and sash arrangements (proportion and size of panes) should match the early sash.
- Painted wood or vinyl shutters that are sized to fit the opening and appear to be operable are permitted.
- Fabric awnings on residential buildings should be canvas or other similar fabric (aluminum awnings are not recommended) and should not have side panels.
- Openings in porches or arcades should always be vertically proportioned.

Roofs



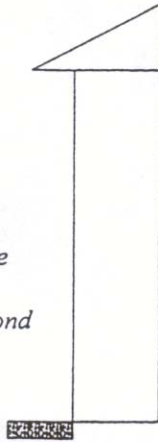
Single Plane Roof on Wing

- The types of wood-framed roofs typically fall into categories of symmetrical gables, gambrels, or hip roofs. Gables are the most prevalent. Primary roofs should have slopes no less than 8:12. Secondary roofs may have slopes less than 8:12 depending on the material used (i.e. metal roof over porches can be less than 8:12, whereas a shingled roof should not be less than 8:12). On residential structures, flat roofs should be used only as occupiable areas directly accessible from outdoors. These must have appropriate parapets or railings.
- Steep gable roofs like the "Swiss Chalet" shall not be used (pitches in excess of 12:14).
- Single plane pitched roofs for houses shall not be used on the main house but can be used on wings.



12" Overhang

Gravel Used at Drip Line
Should Extend from
Foundation To Just Beyond
Drip Line



- Roofs over secondary entrances shall be shed roofs supported by wooden brackets.
- Dormers should have gabled, hipped, or shed roofs.
- Roof materials should be wood shingles, architectural grade fiberglass shingles or cementitious shingles. Metal roofs are recommended for porch roofs or other ancillary elements. Metal should be copper or galvalume type. Colored anodized metal roofs should be gray or other neutral tones. Flashing may be copper, vinyl or anodized aluminum. (Note: copper roofs, gutters, and flashing should not be painted or sealed but should be permitted to age naturally). Gutters and downspouts should be made of copper or anodized aluminum and may be half-round or ogee. Where gutters are not used, it is recommended that brick or gravel be placed at the drip line.
- Gable roof ends should have a minimum overhang of 12 inches.
- Roof penetrations should be on the rear slope of roofs and painted to match the color of the roof. Skylights should be flat and mounted on the rear slope of the roof and should not be visible from any public area.

Acceptable Roofing Material

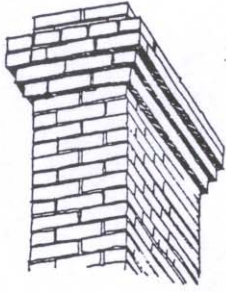
- Wood shingles that are permitted to weather naturally.
- Treated wood shingles or shakes, which have a natural gray color.
- Standing seam copper roofs that are permitted to weather naturally.
- Fiberglass shingles from the range of colors represented by the TAMKO Heritage Premium fiberglass shingle color series does not need to be reviewed by the Architectural Review Board.
- Slate medium gray or charcoal color.
- Textured concrete shingles in gray or buff-gray color.
- Standing seam metal roofs, which are medium gray, dark gray, grayish brown, black, charcoal gray, or

dark grayish-brown. Colors should be soft earth tone, of medium to dark value with low reflectivity.

- Roof vents, metal chimneys, metal chimney caps, and plumbing vents shall match the color of the roof or would be black, dark gray, or bronze in color.
- Plastic vents should be painted to match the roof and should be on the back side and not on the street side.
- Skylights should have black, bronze, or gray trim. Skylights should not be placed on the front elevation.

Unacceptable Roofing Material

- Shiny metal roofs.
- Shiny metal, exposed aluminum or exposed galvanized metal roofs.
- Metal roofs of the following colors; white, light tan, pink, red, maroon, light blue, medium blue, dark blue, bright green, medium gray, orange, brownish-orange, etc. Metal roofs that attract attention by their color, contrast, brightness, and reflectivity are discouraged.
- Ceramic or synthetic ceramic roofing tiles.
- Metal shingles or stamped metal decorative roofing panels.
- Flat roofs.
- Plastic, vinyl or other high visibility synthetic roofs.
- Shiny metal roof vents, fireplace stacks, plumbing vents, or other pipes.



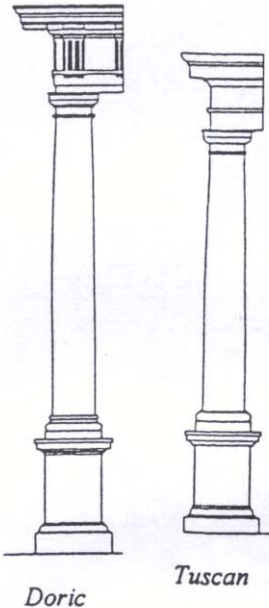
Chimneys

- Chimneys can be used but are not required. They should be brick or match the siding of the dwelling and painted if not brick. Stucco is not permitted. Chimneys should be capped to conceal spark arresters. Primary chimneys should be rectilinear in plan and are preferred to have a corbelled termination in keeping with existing types.

Porches



- Porches are another common element on residential buildings.
- In general, porches with a narrow frontage should be no less than 6 feet deep, while porches with a wide frontage should be at least 8 feet deep. Screened porches must be framed with painted wood and located on the side or rear of structures. Lighting on porches should be discrete.



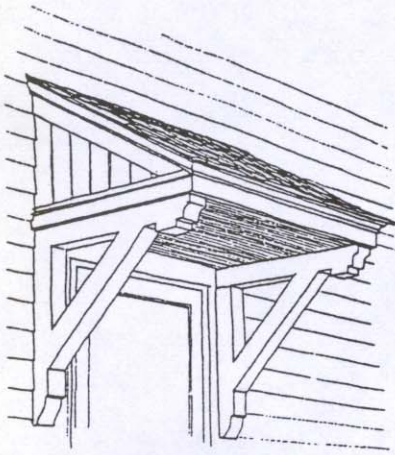
Columns, Posts

- Columns are preferred to be Tuscan or Doric orders, although other types exist within the area. When used, columns should have correct proportions and profiles as described in *The American Vignola*. Nothing should be attached to columns. Columns should be made of wood, although certain grades of fiberglass columns are acceptable. Flagpoles under 6 feet long may be mounted at an angle to building walls.
- All posts should be no less than 5 x 5 inches and have chamfered corners.
- Columns and posts should be sealed with paint or opaque stain.

Decks

- Decks are to be located in rear yards only.
- Decks must be painted or stained to match the main building.

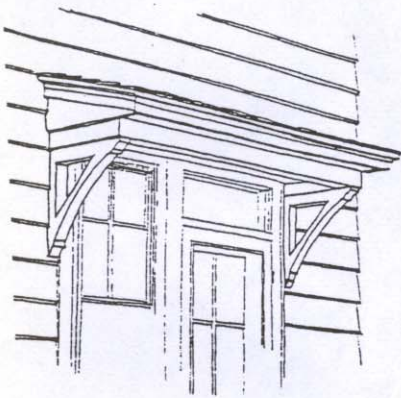
Stoops



- Stoops at secondary entrances should be made of brick or concrete. If made of concrete; the side walls and stair risers should be made of brick. As stated above, roofs with overhanging stoops are typically shed-type roofs supported by wooden brackets.

Railings

- Railings should have top and bottom rails and spindles or balusters are to be vertical and centered on the top and bottom rails. Spaces between wood rails should be tighter than on metal rails. Top rails of wood railings should have an eased profile, while the bottom rail profile may be rectangular. Wood railings should be sealed with paint or opaque primer.

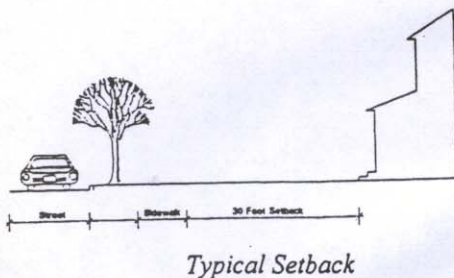


Outbuildings

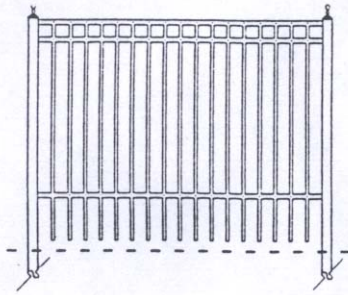
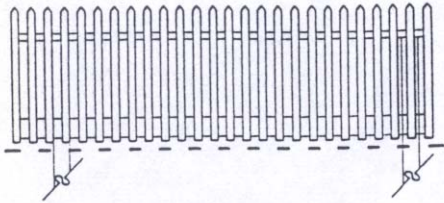
- Outbuildings are permitted and must conform to standard property line setback requirements.
- Outbuildings must meet the same criteria for the main building (i.e. walls, openings and roofs).
- If not constructed of brick, outbuilding must be painted or stained to match the main building.
- Metal outbuildings are not permitted.

Residential Siting

- First-story floors should be raised above sidewalk grade a minimum of 2 feet, except for garages which may be at grade.
- Exterior light fixtures should be compatible with existing types and placed so that they do not create glare for adjacent properties.
- Pre-fabricated above-surface swimming pools and spas shall be permitted in rear yards.
- Equipment such as HVAC units, utility meters, direct-vent fireplaces, clotheslines, play equipment, hot tubs, etc should be placed in the rear yard.



Fences



- Fences should contribute to the site's character and not detract from the site's principal architectural features and should be compatible with adjacent sites in the neighborhood.
- Fences are discouraged which disrupt the harmony of the streetscape by breaking up established architectural rhythms.
- Wood, aluminum or wrought iron fences that are in keeping with the residential scale of fences in the neighborhood are permitted.
- Salt-treated wooden fences must be painted or stained.
- Wrought iron is more appropriate as architectural ornamentation and as fencing for large parcels of land such as the existing fence at Matthew Whaley School.
- Chain-link, wire, plastic, and vinyl fences are not permitted.

Other Site Elements

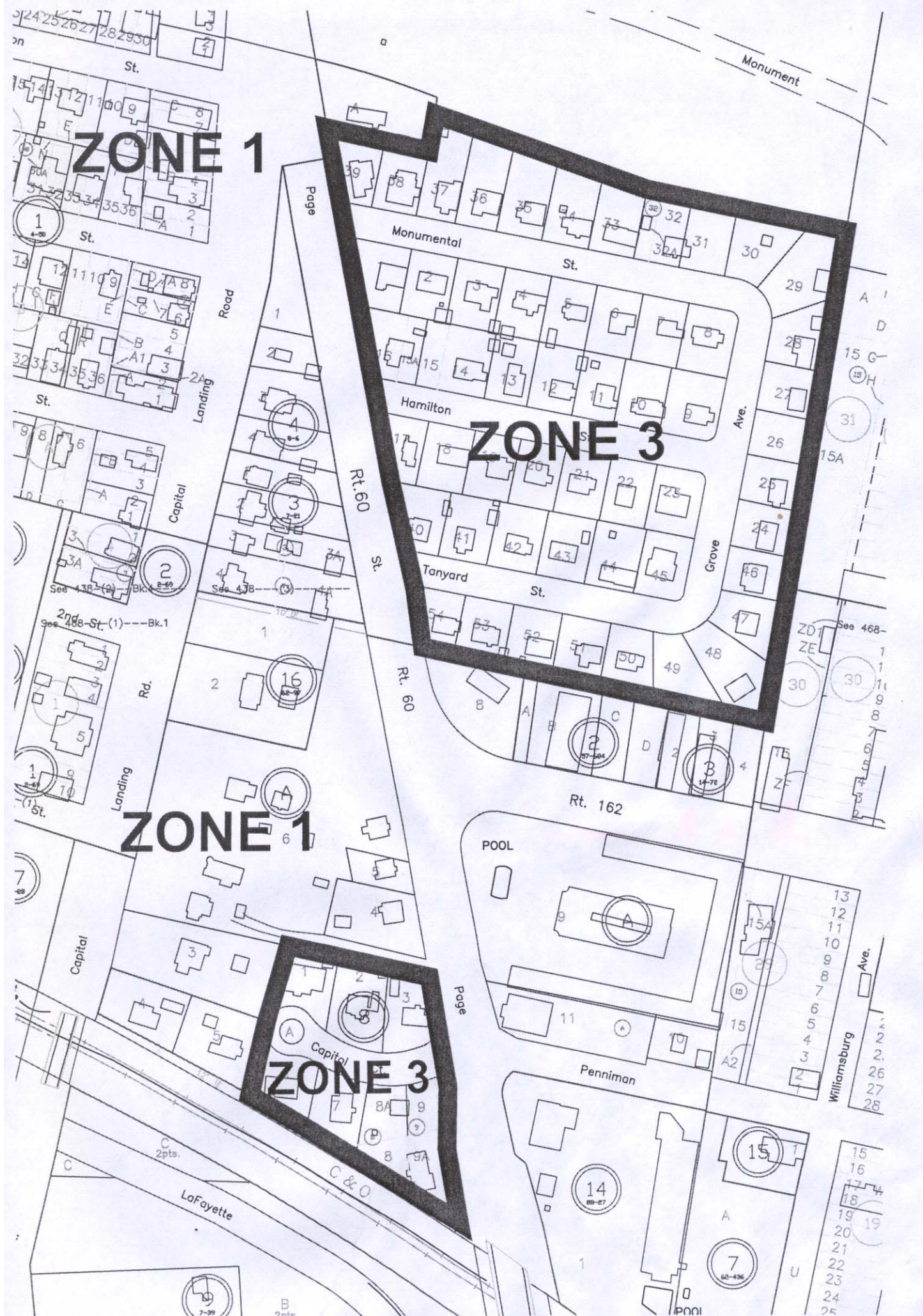
- Site elements should contribute to the site's character and not detract from the site's principal architectural features and should be compatible with adjacent sites in the neighborhood.
- Materials for driveways, walkways, fences and walls should be similar to existing materials within the site and within the surrounding neighborhood.
- Mechanical equipment, utilities and trash facilities should be located unobtrusively on the site in side and rear yards and should be screened if they are visible from the street and adjacent properties.

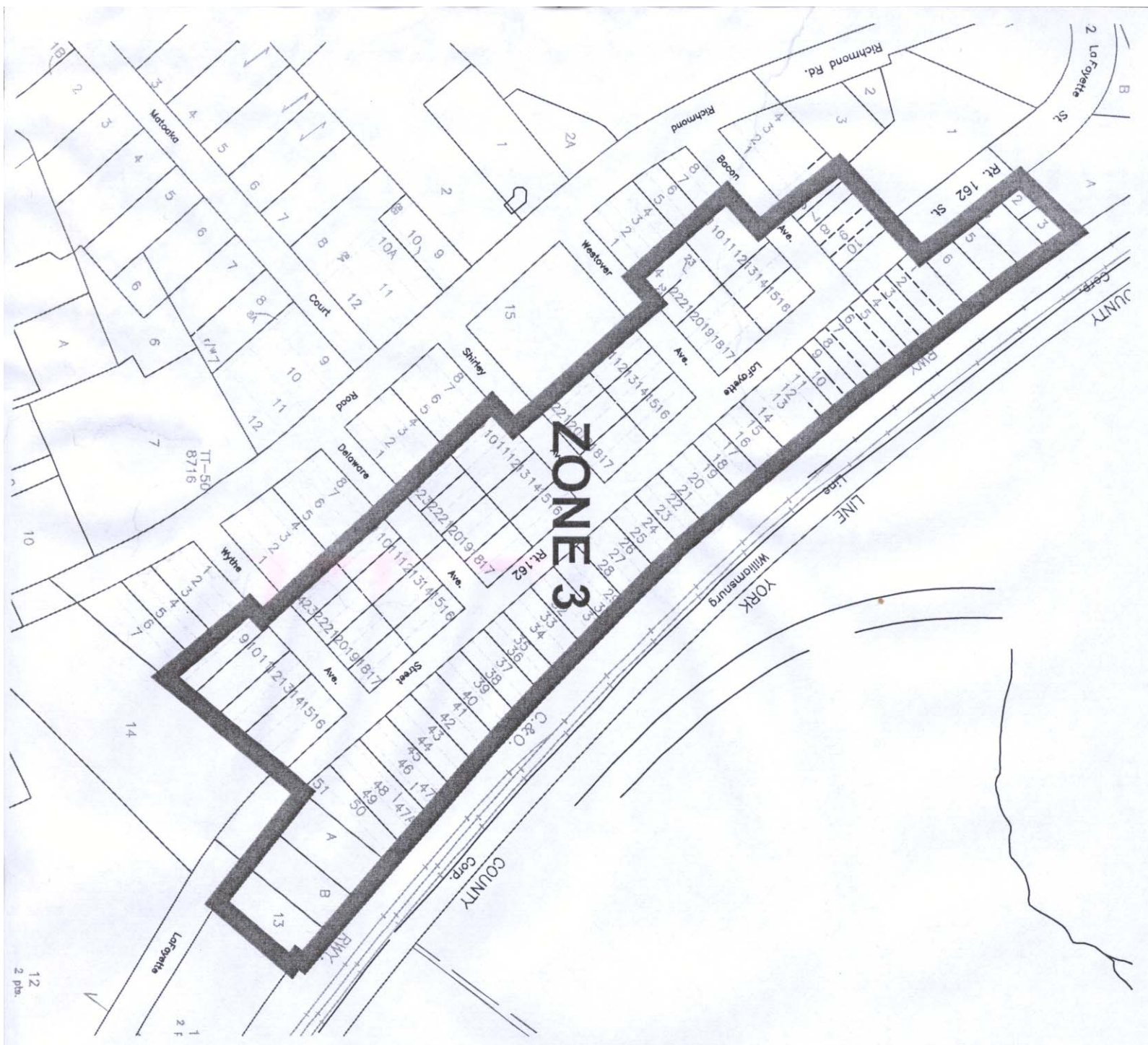
ZONE 1

ZONE 3

ZONE 1

ZONE 3





DESIGN REVIEW GUIDELINES

CORRIDOR PROTECTION DISTRICT



CORRIDOR PROTECTION DISTRICTS

In the **Corridor Protection Districts**, construction should contribute to the improvement of the architectural and visual character of these major entrance corridors to the City and the Colonial Williamsburg Historic Area. The standards in this section refer to all residential and commercial development including redevelopment and major renovations in the Corridor Protection Districts.

- A. Architectural Character.** Presently, many of the existing buildings within the corridors lack any overriding architectural quality or design. A consistent, high quality of architectural design and building maintenance will greatly improve the image of the corridor and community. Construction should respect the overall streetscape, and should preserve and enhance the natural features present on the project site.

Architectural Character Guidelines:

- A. 1.** New architecture should not replicate or imitate historic buildings, but be an evolution of and compatible with Williamsburg's design traditions, forms and materials. Replications of 18th century buildings in the Colonial Williamsburg historic area or elsewhere are not acceptable. Revivalist style buildings can be faithful to and compatible with the architectural traditions of this locale without being copies of ones in the restored area.
- A. 2.** Generic franchise design and restaurants designed as Chinese pagodas, Italian villas, Mexican haciendas, New England lobster shacks and the like are not acceptable. Building design should be specific to the selected site and the Williamsburg context. Franchise buildings are required to use elements that are appropriate to the character of the city and that support and enhance the community identity.
- A. 3.** Traditional architecture styles associated with Williamsburg include Colonial Revival, Georgian Revival, and Tidewater Virginia Vernacular. These styles provide flexibility of design and innovative possibilities for responding to the existing pattern of development, thus fitting into and building up patterns in the cityscape. Adaptations of these prevalent architectural styles ensure long-term compatibility with the city and enhance opportunities for adaptive use of buildings.
- A. 4.** Contemporary architectural design can contribute vitality and cultural continuity to the cityscape. Contemporary architectural designs must address unique site requirements and relate successfully to other styles and architecture.

- B. Facade Design.** Facade design is crucial to the overall impression of the architecture and particularly relates to the pedestrian's perspective. The following factors must be considered in developing appropriate facade design:

Height	Proportion of facade
Rhythm of buildings and spaces	Setback and location on site
Complexity of building form	Rhythm of entrances
Roof shapes and materials	Continuity of streetscape
Proportion of openings	Materials and textures
Architectural details	Relation to historic styles
Solids and voids	Color

Facade Design Guidelines:

- B. 1.** Facade design should not be overly complicated or overly monotonous, and should respect the traditions of the town and region. Designs reflecting traditional proportions and elements are encouraged. False facades typical of theme parks and movie sets are not acceptable.
- B. 2.** Building facades that are long and continue without interruption are unattractive. Large or multiple building projects should use variation of detail, form and siting to provide visual interest and to prevent monotonous design and appearance. Setback variations and details should be provided to create shadows and visual interest. When the prominent facades of a new commercial building are longer than 30 feet, they should be modulated with breaks in the facade.
- B. 3.** Inadequate fenestration creates a fortress-like facade and excessive glazing floods the surrounding areas with light, resulting in an overly aggressive approach to the street. As a general rule, at least 20% but not more than 30% of the front facade design should be "transparent" based on the percentage of (window) fenestration (not including doorways).
- B. 4.** Windows contribute to the facade of a building and will be evaluated on: (1) the pattern of the openings and their size; (2) proportions of the frame and sash; (3) configuration of window panes; (4) muntin profiles; (5) material; (6) paint color; (7) characteristics of the glass; and (8) details or decorative elements. The use of traditional window proportions is highly encouraged, particularly for freestanding restaurants and offices and retail structures, and particularly when adjacent to residential sections of the corridors, such as the Jamestown Road/Route 199 area and Richmond Road between the Williamsburg Shopping Center and Brooks Street. Care should be taken to avoid excessive glazing that is not in keeping with a traditional design approach. However, large windows may be acceptable in the context of a properly designed shopping center or large commercial building.

In traditional designs, windows, sidelights, and glazed doors must have exterior muntins or those which give the appearance of true divided lights and are non-removable. Solid glass windows or doors are not acceptable with a possible exception for elevations that are not visible from public streets.

B. 5. Shutters may be appropriate on buildings of domestic scale. When used, shutters must be in correct proportion to the windows or doors that they adjoin. Shutters must have attached hardware and be mounted to give the appearance of being operable (i.e., shutters should not appear to be attached permanently to the wall.)

B. 6. Side and rear elevations should contain the same design elements and materials as the front facade.

C. Roof Design. A roof is a critical design element with both the shape and material contributing to the appearance of the building. Roofs and roof materials are important elements and will be given the same consideration as other exterior elements. Key considerations include: shape and pitch, overall massing, overhangs, color, and materials.

Roof Design Guidelines:

C. 1. In areas near residential sections of the corridors, such as the Jamestown Road/Route 199 area and Richmond Road between the Williamsburg Shopping Center and Brooks Street, pitched roofs are required (except as noted in section C.3 below). In all other areas pitched roofs are highly encouraged for freestanding restaurants, offices and retail structures. The minimum acceptable roof pitch is 5/12; however, greater roof pitches may be incorporated (6/12 up to 12/12) depending on the overall architectural design, scale and massing of the structure.

C. 2. Roof materials and colors must be appropriate to the architectural style of the building. In Tidewater Virginia, slate and wood shingles and metal standing seam roofs have traditionally been used. Concrete shingles resembling 18th century wood shingles are found throughout the historic area and Merchants Square. Other modern composite materials such as fiberglass and asphalt shingles have similar characteristics although they do not have the same texture, color and scale as the traditional materials. Fiberglass, asphalt, wood or slate shingle materials from the range of colors in the TAMKO Heritage Premium fiberglass shingle color series are acceptable. Standing-seam metal roofs are permitted provided that they are gray, black, dark green, or a dark earth-tone color. Other materials or colors may be acceptable and are subject to review on a case-by-case

basis. Regardless of material, bright or primary roof colors are not acceptable.

C. 3. For large commercial structures (approximately 15,000 square feet or more) flat roofs may be allowed if adequate detail and visual interest is provided by the parapet or roof design.

C. 4. If a mansard or "false" mansard roof is used on a large commercial structure, the roof should be consistent in slope and arrangement on all sides and high enough to screen all mechanical equipment.

D. Building Materials. The selection of appropriate building materials is critical to the overall architectural building character. Presently, little consistency in materials or architectural unity exists along the City's corridors. Consistently applied guidelines for building materials will greatly improve the appearance of the corridors over time.

Building Materials Guidelines:

D. 1. Materials, which reflect the city's traditions, are highly encouraged. Major commercial buildings (those which are two-story and higher, shopping centers, and buildings in excess of 10,000 square feet) should be constructed of brick. All other buildings should be constructed of brick or brick and horizontal wood siding. Siding must have an exposure of between six and eight inches and may have a beaded edge; the intended effect is to create a play of light and shadow on the wall surface. Siding must be wood or a material, which is of a gauge and quality that resembles authentic horizontal wood siding; the latter may be acceptable if its form, detailing, painting, and overall appearance conveys the visual appearance of the authentic material.

D. 2. Prefabricated metal buildings are not allowed along the city's entrance corridors.

D. 3. Aluminum siding, vinyl siding and sheeted siding are not acceptable materials.

D. 4. Applied stucco is not acceptable as the primary building material. However, applied stucco may be acceptable as an accent material on buildings of contemporary design or in renovations.

E. Brick and Paint Colors. Color is a major determinant of how successfully a building contributes to the streetscape in the City's entrance corridors. The choice of color should be compatible with Williamsburg's design traditions.

Brick and Paint Colors Guidelines:

- E. 1.** Colors for brick should be muted red earth tones.
- E. 2.** Wood siding and trim on buildings must be stained or sealed a natural earth tone or should be painted using colors from the Martin Senour "Williamsburg" exterior paint colors or from the Sherwin Williams "Preservation Palette." The latter's "Postwar Romanticism" selection is excluded from the approved colors. Clad windows and clad trim should conform to the same color standards as painted wood. Painted siding and trim should be limited to three colors on a building unless additional colors are justified by the design.
- E. 3.** Wood fences and decks must be painted or stained if this is necessary to complement the site.
- F. Lighting.** The purpose of lighting is to provide adequate safety for residents and visitors to the City. Lighting fixtures must be compatible with the structure and/or site on which they are installed, and with adjacent properties if visible from them. Poles, posts and light stanchions should be designed as an integral part of the site.

Lighting Guidelines:

- F. 1.** Galvanized metal, bright colors, and other visually intrusive materials should not be used. Height should be compatible with existing scale.
- F. 2.** In residential areas or areas immediately adjacent to residential areas, the lighting fixtures should be understated and compatible with the residential quality of the surrounding area. The use of low-level light and/or concealed light source fixtures whose light does not spill over onto adjacent properties are methods commonly employed to achieve this objective.
- F. 3.** For developments requiring a site plan, the Police Department determines the minimum level of lighting required for security and safety. Lighting wattage and distribution are evaluated during the site plan review process. The Architectural Review Board may submit comments to the Site Plan Review Committee. The Architectural Review Board endorses the following objectives:
 - Lighting intensity should be the minimum required to satisfy safety and security concerns, but no greater.
 - Light should not distort colors and should not spill over onto adjoining properties, roadways, or in any way interfere with the vision of oncoming motorists or pedestrians.
 - Site lighting should be of low intensity from a concealed light source

fixture. However, decorative, low level intensity, non-concealed source lighting which defines vehicular and/or pedestrian ways may be acceptable if this is part of a lighting master plan showing the relationship of the fixtures and the light patterns to each other, to the overall site, and to the adjacent street(s). The use of non-concealed source lighting as general lighting for a development is not desirable.

- Recommended foot-candles and lighting uniformity requirements for parking areas are as follows:

	Pedestrian Area		Vehicle Area	
	Foot-candles (Minimum on Pavement)	Uniformity (Average to Minimum)	Foot-candles (Average to Pavement)	Uniformity (Average to Minimum)
High	0.9	4:1	2.0	3:1
Medium	0.6	4:1	1.0	3:1

High - Regional Shopping Centers, Fast Food Facilities

Medium - Community Shopping Centers, Hospitals, Cultural, Civic, and Recreational Facilities is the recommended minimum.

- F. 4.** Landscape lighting should be visually unobtrusive during both the day and night. It should complement the architecture and outdoor spaces rather than spotlighting or outlining them.

DESIGN REVIEW GUIDELINES

REHABILITATION



REHABILITATION

It is the intent of the Rehabilitation section of the design review guidelines to ensure that any building projects, which create an exterior change or an addition to an existing building, are in keeping with the character of the building and with the surrounding neighborhood.

According to the Secretary's Standards (see attachment), rehabilitation is the process of returning a property to a state of utility, through repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its historic, architectural, and cultural value. (A glossary of rehabilitation definitions is attached as Appendix D.) Rehabilitation includes maintenance, repair, alterations and additions. It is recommended that owners of historic and significant buildings maintain their properties according to these standards to protect the special qualities, which characterize that building and its site. If a building is listed on the State or National Registers, it is especially important for applicants to the Architectural Review Board to consult the Secretary's Standards prior to making any changes to the building. To be eligible for Federal tax incentives, a rehabilitation project must meet all ten of the Secretary's Standards.

MAINTENANCE

In order to protect the integrity of any building in the **Architectural Preservation District**, especially buildings listed on the Listing of Locally Significant Architecture and Areas (Appendix G), and to prevent destruction of any architectural elements from the effects of weather and decay, an ongoing maintenance program is necessary to prevent the phenomenon of demolition to destabilization of the structure. This phenomenon can be averted by regular maintenance, i.e. painting, cleaning of gutters, roofing, window glazing, caulking of joints, rest removal, repointing of brickwork, etc. Historic materials should be cleaned gently without harsh chemicals or tools and brickwork should never be sandblasted.

Any painting of exterior surfaces, which duplicates or matches existing color schemes or materials on the building, does not need to be approved by the Architectural Review Board. In addition, the ARB has pre-approved the use of any new paint color, which is selected from the Sherwin Williams Heritage Series of paint colors or the Martin Senour Colonial Williamsburg Paint Colors, or is similar to these colors and accepted by the Planning Department as a reasonable substitution. The use of different color palettes is not discouraged but is subject to review by the ARB on a case-by-case basis. In all cases where it is proposed to paint over unpainted, natural brick surfaces or naturally finished wood surfaces, review by the Architectural Review Board is required. (See Appendix C for Approved Color Palette.)

REPAIR

Any replacement of siding, roofing materials, windows, etc. which duplicates or matches existing materials and color schemes on the building does not need to be approved by the Architectural Review Board. However, the ARB recommends, if feasible, that property owners repair historic architectural features rather than replace them when materials begin to deteriorate.

This conservation approach is preferable to reconstruction because it preserves evidence of past building practices and construction techniques in original materials. The use of synthetic siding on older building is discouraged, because of the structural damage it can cause when applied over problem areas and because of the obliteration of architectural details, which occurs when, the artificial siding is applied unsympathetically. Finding the cause of the deterioration, rather than covering up the symptom with artificial siding or simply replacing deteriorated features, will ultimately prolong the life of the building and maintain its integrity.

If replacement or reconstruction of important architectural features, such as porches, cornices, decorative window and door trim and molding, etc., is necessary on buildings in the **Architectural Preservation District** because of substantial deterioration of the absence of significant features, then it is recommended that the replacement features create as accurate a duplication of the original feature as is economically and technically feasible. If substantial renovations are proposed which would remove important elements from buildings included on the Listing of Locally Significant Architecture and Areas (Appendix G), then these elements should be photographed and submitted to the Williamsburg Planning Department with the application to the Architectural Review Board, or the property owner should allow the City access to the property to photograph the historic element which is proposed to be removed. It is recommended that the applicant check with the Planning Department for available information on the property to avoid duplication of reporting.

ALTERATIONS

Before considering a major alteration of a building included on the Listing of Locally Significant Architecture and Areas (Appendix G) to accommodate a new or expanded use, owners should explore the potential of the building for rehabilitation. Many older buildings are suitable for adaptive re-use projects. If the building is a certified historic building and the Secretary of the Interior has approved the proposed rehabilitation project, a federal tax incentive program is available through the State government for commercial projects. The property owner should thoughtfully consider the return expected from the property and the ability of the building to provide this return in both its present state and in a rehabilitated state. In addition the property owner should consider the possibility that the building could be adapted with a low impact use, i.e. residential, office, day care or community center, banks and financial institutions, museums and art galleries, etc.

Rehabilitation of any building within the **Architectural Preservation District** or the **Corridor Protection Districts** should not modify a building so that the result is a building shrouded in decorative architectural features of an era pre-dating the building or the style involved. In addition, property owners planning to restore a building back to its "original" appearance, which would require removal of certain features, should consider the significance of subsequent modifications to the building and/or site and the role they play in defining the character of the property. The additions and alterations created by previous property owners often play a large role in defining the significance of the building and their removal may jeopardize the integrity of the building. The house at 520 Jamestown Road is such an example where the unique character of the property is the result of a substantial Victorian era addition on the original early 19th-century house. It is recognized, however, that there are situations where complete restoration of a structure or building is warranted or beneficial, i.e. the Colonial Williamsburg Historic Area.

Rehabilitations should be sensitive to the building's distinctive stylistic features. Unsympathetic cosmetic alterations, which would remove or adversely affect important stylistic details, are discouraged. Examples include:

1. The addition of monolithic picture windows on the street-side elevation, which disrupt the stylistic relationship of window space to wall space on the facade;
2. The application of artificial siding so that architectural details are boxed over or removed and windows recede behind the siding;
3. The addition of, or replacement with, inappropriate stylized windows or doors; i.e. diamond-paned windows, projecting bow windows, "country" paneled and scrolled storm doors, etc.;
4. Enclosure of front porches with under- or over-scaled windows and siding.

Alterations should be compatible with the stylistic elements on the building, such as materials, proportions, window and door arrangements, decorative trim and cornice details, etc. It is recommended that those elements, which strongly contribute to the character of the building, such as, trim details and porches, be retained where possible. If modernizations are desired which would create extensive exterior changes to the building, it may be more appropriate for the alterations and/or additions to be located on the rear or secondary facades of the building. It is recognized, however, that there may be occasions when it is not possible to restrict the renovations to the rear of the building and when it might be preferable to alter the primary elevation of the building.

Before any rehabilitation in the **Architectural Preservation District** of any building on the Listing of Locally Significant Architecture and Areas (Appendix G) is undertaken which would substantially alter the features of the building or remove significant architectural elements, then these elements should be photographed and submitted to the Williamsburg Planning Department with the application to the Architectural Review Board, or the property owner should allow the City access to the property to photograph the historic element which is proposed to be removed or altered. It is recommended that the applicant checks with the Planning Department for available information on the property to avoid duplication of reporting.

ADDITIONS

Additions to buildings in the **Architectural Preservation District** should be sympathetic to the building. Contemporary designs for alterations and additions may be appropriate if they do not destroy the significant historical, architectural or cultural material of the original building and if the design is compatible with the size, scale, color, material and character of the property and neighborhood. If an addition is proposed on a primary facade of the building, the architectural features, materials and massing of the addition should respond to the elements existing on the building. It is not necessary for the design of the addition to duplicate the architectural elements on the original building in order to be compatible, however, it is recognized that there may be occasions when duplication is preferable to preserve the symmetry of the building. It may be appropriate for additions to rear or secondary facades to have more independent designs, but the additions should still respect the proportions of the existing building and the scale of the surrounding neighborhood. Any additions or alterations should be designed so that if subsequent owners wish to remove them, it would be possible to do so without impairing the essential form and integrity of the building. Additions to buildings in the **Corridor Protection Districts** will be reviewed for good design principles, appropriateness to the site and the City, and compatibility with surrounding sites. Contemporary designs are encouraged if the design is compatible with the size, scale, color, material and character of the property and neighborhood.

ZONING WAIVERS

Due to peculiar conditions of design and construction in older neighborhoods in the **Architectural Preservation District**, some older buildings may not meet current zoning requirements. In order to maintain the special character of these neighborhoods, the Architectural Review Board may make recommendations to the Planning Commission and the Board of Zoning Appeals for exceptions to standard yard requirements, off-street parking requirements, and open space and landscape requirements for significant buildings, which do not meet current zoning requirements.

Federal Tax Incentive Program: Tax Act Coordinator
Virginia Department of Historic Resources
221 Governor Street
Richmond, VA 23219
(804) 786-3143

DESIGN REVIEW GUIDELINES

RELOCATION



RELOCATION

It is the intent of the Relocation section of the *Design Review Guidelines* to ensure that property owners consider the effect which relocation of a building will have on the neighborhood it enters or exits and the effect which relocation will have on the individual significance of the building.

Because of the continuing restoration and development activities by the Colonial Williamsburg Foundation and the City, Williamsburg has witnessed an unusual amount of relocation activity. Non-colonial buildings have been moved out of the Historic Area and transplanted Colonial buildings have been moved in and out of the Historic Area and around the City. While this activity has saved many older buildings and revived some deteriorating housing for the Williamsburg Redevelopment and Housing Authority, the juggling of buildings has removed historical relationships from many of the City's oldest neighborhoods.

Before any relocation permits are issued by the City for buildings moving either within, into or out of the **Architectural Preservation District**, review by the Architectural Review Board is required. At the time of submittal of the application for relocation, if the building is on the Listing of Locally Significant Architecture and Areas, (Appendix G), the applicant should submit interior and exterior photographs of the building and its original site, or the property owner should allow the City access to the property for photographic reporting. It is recommended that the applicant check with the Planning Department for available information on the property to avoid duplication of reporting.

Many factors need to be weighed by the Architectural Review Board when reviewing requests for relocation in the **Architectural Preservation District**, many of which are listed in Sec. 21-855(c) of the Zoning Ordinance (see Appendix A). These factors include the historical and architectural value of the building, whether or not the building is included on the Listing of Locally Significant Architecture and Areas (Appendix G), the effect that the relocation will have on the surrounding neighborhood, the type and quality of the project that will replace the building, the Comprehensive Plan's goals for historic preservation, the condition of the building, and the economic feasibility of restoring the building. The Board must strike the proper balance between preserving buildings that make important contributions to the history and character of the City, and allowing for new development in the **Architectural Preservation District**. The Listing of Locally Significant Architecture and Areas (Appendix G) is intended to assist the Board in its deliberations.

THINGS TO CONSIDER

Relocation of buildings on the Listing of Locally Significant Architecture and Areas (Appendix G) should only be considered as a last resort before demolition. The location of the building plays a key role in determining its significance. When a building is moved from its site an important aspect of the building's identity is lost. The orientation of the building in the community, its relationship with neighboring buildings and community features, and the characteristics of the site all play an important role in

understanding the history of the building and its past occupants. When a building is separated from its site, the opportunity for archeological and botanical research is lost. Relocation not only jeopardizes the integrity of older buildings, but also depletes the historic fabric of the original neighborhood and confuses the environs in the receiving neighborhood.

Because of the past and continuing threat to the stock of non-Colonial historic buildings in Williamsburg, relocations from significant neighborhood groupings are strongly discouraged. (See Introduction C for listings of significant neighborhood groupings.) In most cases, these buildings should be preserved and maintained in their original locations. However, if an earlier relocation project moved the building to the present site within the last fifty years (as part of the Colonial Williamsburg Foundation's restoration work and the City's redevelopment efforts), relocation of the building on its site might not be necessary to preserve its remaining historic character. Preservation efforts should include conservation of natural features, identified archeological features, and secondary outbuildings present on the site, in addition to the principal architectural structure.

Prior to submitting a proposal for relocation of a building included on the Listing of Locally Significant Architecture and Areas (Appendix G), property owners should analyze the situation carefully and explore alternatives to relocation. Property owners should consider the potential of the building for rehabilitation. Many older buildings are suitable for adaptive reuse projects and the Rehabilitation section of the Design Review Guidelines outlines this process. The Architectural Review Board may make recommendations to the Planning Commission and the Board of Zoning Appeals for exceptions to standard yard requirements, off-street parking requirements, and open space and landscape requirements for significant buildings in older neighborhoods, which do not meet current zoning requirements.

If relocation is determined to be necessary as the only means of preserving the building, then careful consideration should be given to the selection of a suitable site. In addition, if the building is listed on either the State or National Register, the owner should contact the Department of Historic Resources prior to the move to request that the designation be retained. Usually, however, relocation will result in the removal of the designation. An attempt should be made to locate a site, which recreates as nearly as possible the orientation of the original site. If the site is too small or oriented inappropriately with neighboring features and buildings, the qualities, which made the building significant, may be lost. In addition, if the building is located among building of a different architectural period or in a district composed of a different land use, the relocated building may look displaced. It is suggested that relocated buildings be placed in neighborhoods with buildings of similar size and land use.

When moving a building, the property owner should hire a qualified structural mover experienced in moving historic buildings and contact the Planning Department for information on code compliance. Thorough early planning and preparation will help to reduce costs and remove opportunities for unseen obstacles to slow the relocation process. Whenever possible, buildings should be moved intact, but if partial

disassemble is necessary, than all disassembled parts should be labeled precisely to aid in re-assembly. If the moving route is planned to avoid narrow bridges, steep roads and low utility wires and tree limbs, disassembly may be avoided, helping to further reduce costs. During the relocation, measures should be taken to protect vegetation and adjacent buildings on the old and new sites.

Any future changes to a building moved into the Architectural Preservation District will be subject to review by the Architectural Review Board. In order to reduce confusion which relocation may create, interpretative information about the building and the old site should be posted at the new site.

DESIGN REVIEW GUIDELINES

DEMOLITION



DEMOLITION

It is the intent of the demolition section of the design review guidelines to ensure that property owners consider the role which existing buildings play in defining the character of the community. In addition, certain buildings possess individual significance as examples of certain architectural styles and periods in the City's history. Williamsburg has experienced a high level of demolition activity within the last seventy years, which significantly altered the character of certain areas in the community. In addition, as a result of the restoration of the Colonial capitol, the City's redevelopment efforts, and continuing development pressures on land adjacent to the Historic Area, demolition has removed a sizeable portion of the City's post-Colonial era historic fabric. Historic resources, which are especially threatened, are from the city's depleted supply of Victorian and early twentieth century buildings. These non-Colonial historic buildings contribute to the City's character and are evidence of the City's evolutionary process between the Colonial period and the present time.

A 1930 survey map prepared in conjunction with the Restoration project and a buildings map from the 1940's illustrate the level of clearance which has occurred within the last fifty years in the areas surrounding the Colonial Williamsburg Historic Area. Of the 106 buildings, which existed in the area bounded by Virginia Avenue, Richmond Road, North Boundary Street and the CSX Railroad right-of-way in 1930, 78% have been lost to this date. All of the buildings, which existed on York Street, have been lost. 62% of the 57 buildings, which existed in Peacock Hill in 1930, have been lost to date. 56% of the 43 buildings, which existed in area of South Boundary Street, Ireland Street, and South Henry Street in 1930, have been lost to date. And of the 30 buildings, which existed on South England Street and in the Colonial Extension subdivision in 1930, 66% have been lost to date. On average, the city has lost 72% of the buildings, which existed in the areas ringing the Historic Area in 1930. It is not known how many buildings, which existed prior to 1930 in the area now known as the Historic Area, were lost to make the restoration project possible. Redevelopment pressures and the phenomenon of demolition by neglect continue to threaten the City's remaining 19th-century and early twentieth-century historic buildings.

The Architectural Review Board reviews all proposals to demolish buildings in the **Architectural Preservation District**. Prior to submitting a proposal for demolition of a building included on the Listing of Locally Significant Architecture and Areas, it is recommended that property owners analyze the situation carefully and explore alternatives to demolition. Depending on the condition of the building and the nature of the intended land use, property owners should consider the potential of the building for rehabilitation. Many historic buildings are suitable for adaptive re-use projects and the Rehabilitation section of the Design Review Guidelines outlines this process. The Architectural Review Board may make recommendations to the Planning Commission and the Board of Zoning Appeals for exceptions to standard yard requirements, off-street parking requirements, and open space and landscape requirements, for significant buildings in older neighborhoods which do not meet current zoning requirements.

If relocation is determined to be necessary as the only means of preserving the building, then property owners should refer to the Relocation section of the Design Review Guidelines.

If, after every other option is considered, the property owner still wishes to demolish the building, the procedures outlined in the Architecture Review Article of the Zoning Ordinance (Appendix A) must be followed. The applicant must apply to the Architectural Review Board for the right to demolish the building. At this time, if the building is included on the Listing of Locally Significant Architecture and Areas, the applicant should submit interior and exterior photographs of the building and site to the Planning Department, or the property owner should allow the City access to the property to photograph the building and site. It is recommended that the applicant check with the Planning Department for available information on the property to avoid duplication of reporting.

Many factors need to be weighed by the Architectural Review Board when reviewing requests for demolition in the **Architectural Preservation District**, many of which are listed in Section 21-855(c) of the Zoning Ordinance (see Appendix A). These factors include whether or not the building is included on the Listing of Locally Significant Architecture and Areas, the historic and architectural value of the building, the effect that the demolition will have on the surrounding neighborhood, the type and quality of the project that will replace the building, the Comprehensive Plan's goals for historic preservation, the condition of the building, and the economic feasibility of restoring the building. The Board must strike the proper balance between preserving buildings that make important contributions to the history and character of the City and surrounding neighborhood, and allowing for new development in the Architecture Preservation District. The Listing of Locally Significant Architecture and Areas (Appendix G) is intended to assist the Board in its deliberations.

If the Architectural Review Board denies the demolition request, the applicant may appeal to the City Council. If demolition is denied by the City Council, the property owner has the right to demolish the building if no buyer has been found for the property within a stipulated time period after a bonafide effort has been made to sell the property under the procedures outlined in Section 21-858(a)(3) of the Zoning Ordinance. An alternative to this process is for the applicant to appeal the City Council's decision to the Circuit Court.

DESIGN REVIEW GUIDELINES

SITE ELEMENTS



SITE ELEMENTS

It is the intent of the site elements section of the design review guidelines to ensure that new developments are designed which preserve and enhance the character of the community. High standards and innovations in the layout, design and landscaping of new and existing developments are promoted to ensure that land is used in a manner which is efficient and harmonious with the community and the environment. The Architectural Review Board reviews site elements and landscape plans within the architectural review process to ensure that aesthetic and historic preservation issues are included in the site plan review process and that new site elements will protect and enhance the **Architectural Preservation District** and improve the **Corridor Protection Districts**. As part of the architectural review process, the Board offers recommendation on site plan design to the Planning Commission.

Site elements include outbuildings, garages, driveways, walkways, fences, walls, benches, signs, lighting, mailbox collector points, trash and dumpster enclosures, mechanical equipment and utilities, berms, drainage ditches, trees, plantings, and archaeological features. Site elements in the **Architectural Preservation District** should contribute to the site's character and not detract from the site's principal architectural features and should be compatible with adjacent sites. Site elements in the **Corridor Protection Districts** should enhance the general appearance of the site and contribute to the improvement of the aesthetic character of the streetscape. General guidelines for these specific site elements are outlined in the following text.

The Signs section of the guidelines outlines the criteria for design review of signage.

Materials for driveways, walkways, fences and walls should be similar to existing materials within the site and within the surrounding neighborhood where appropriate. Fence and wall design should attempt to continue existing fence and wall patterns in the neighborhood where appropriate. Within developed neighborhoods of the **Architectural Preservation Districts**, walls, fences and hedges are discouraged which disrupt the harmony of the streetscape by breaking up established architectural rhythms. There is a strong preference that there shall be no chain link fences in the **Architectural Preservation District**. Wire, chain-link and vinyl fences are inappropriate to the historical and aesthetic character of the Architectural Preservation District, but if such fencing is necessary for safety or security reasons, then the fencing should be screened with vegetation or acceptable decorative fencing. In **Corridor Protection Districts**, wire and chain-link fences are discouraged, but may be acceptable if screened by vegetation or acceptable decorative fencing.

Mechanical equipment, utilities, and trash facilities should be located unobtrusively on the site on side and rear yards and should be screened if they are visible from the street or adjacent properties. Screens should be designed to minimize these elements and may be provided by a built material, which harmonizes with the building, or by a landscape buffer. Utilities shall be placed underground in accordance with Section 7-13 of the City Code.

Drainage facilities should be designed to complement the visual appearance of the site. Landscape materials and features such as plantings and berms may be used to disguise these facilities if they are visible from the street or adjacent properties. A purely functional, unaesthetic facility would be inappropriate.

Lighting, benches and mailbox collector points should be designed to be compatible with the surrounding neighborhood if visible from the street. Lighting wattage should be understated and compatible with the residential quality of the surrounding area. In commercial areas, lighting wattage should not trespass on to adjacent properties or create glare on adjacent properties or on public streets. The Police Department determines the minimum level of lighting required for security measures and such information is available from the Planning Department.

Well-designed landscaping and buffering improves the physical relationship between adjacent properties and enhances the aesthetic character of the community. All efforts should be made to retain existing mature trees and indigenous vegetation in site designs and removal of significant Architectural Preservation District, if any significant historical built or natural features on the site (i.e. walls, gardens, tree allees, etc.) will be disturbed or removed in the new site plan, then these elements shall be photographically documented with copies of the information submitted to the Planning Department, or the property owner shall allow the City access to the property to photograph the site.

This section was amended to include vinyl fence not being appropriate in the Architectural Preservation District on 6/13/00.

DESIGN REVIEW GUIDELINES

SIGNS & AWNINGS



SIGNS

It is the intent of the signs section of the Design Review Guidelines to ensure that new signs enhance the visual image of the property, complement the existing conditions along the street, and are compatible with the goals for commercial signage inherent in the Signs article of the Zoning Ordinance.

The City Sign Ordinance determines the size, number, location and type of signage allowed in given sign districts and throughout the City. Designs for new signs or modifications to existing signs in the **Architectural Preservation District** and the **Corridor Protection Districts** must receive the approval of the Architectural Review Board before sign permits are issued.

In the **Architectural Preservation District**, it is the intent of the Guidelines to ensure that all signs maintain and enhance the aesthetic environment of the Colonial Williamsburg Historic Area and surrounding neighborhoods and commercial areas. Signs should respect the architectural features of the related building and positively contribute to the visual appearance of the streetscape. In the **Corridor Protection Districts** signs should be incorporated into the site plan design and should positively contribute to the improvement of the aesthetic character of the streetscape.

- A. Design of Signs.** The design of signs should be compatible with the architectural character of the related building and its site. Materials, colors, and lettering on all signage for the identified business should be uniform throughout the site and should be compatible with the related building.

Sign Design Guidelines:

- A.1.** The graphic design should be simple in approach and reflect the business's logo, merchandise or service.
- A.2** Signs should not appear busy, cluttered or crowded.
- A.3** No more than two type faces are recommended per sign.
- A.4** Materials and design should be compatible with the design of the building.
- A.5** Plastic is not permitted in the Downtown Sign District.
- A.6** Exposed neon is tubing not permitted (unless specifically allowed by the Zoning Ordinance).
- A.7** Sign bases should be part of the overall sign design and should complement the sign face.
- A.8** For longer messages, the use of uppercase and lowercase lettering is recommended since it is easier to read than all uppercase.



- A.9** For building mounted signs, lettering should typically be in the range of 9 to 14 inches high to ensure legibility. Larger sizes may be appropriate when building setbacks exceed 100 feet.



- A.10.** For monument and free standing signs, lettering height should be between 8 and 12 inches.

- A.11.** Pole covers and structural elements should be small in scale and appropriate to the size, height and location. The width of a pole cover should not exceed 50% the height of the sign face.

- A.12.** Where more than one business or occupant shares a building, it is recommended that a master sign plan for the building be submitted by the property owner.

- A.13.** Building-mounted signs should be designed to enhance the facade by blending with the architectural features of the building and not merely applied to the surface.

- A.14.** Signs should not cover or obscure decorative architectural details or overwhelm the facade of the building.

- A.15.** Sign bands should be of a consistent height and size along the building facade and throughout the block if possible and where appropriate.



- B. Color of Signs.** The color of signs plays an important part in the overall appearance of the corridor and should be uniform throughout the site. Colors must be from the approved color palette for signs which will enhance the overall streetscape in the City. Color of architectural details may suggest signage colors.

Sign Color Guidelines:

- B.1.** Signs with dark backgrounds and lighter color lettering are required as they are more legible and produce less glare when internally illuminated.



- B.2.** More than three colors will generally not be permitted; however, signs with an exceptional design may be approved with additional colors on a case by case basis.
- B.3.** A dull or matte finish is recommended to reduce the glare and enhance legibility.

- B.4.** Sign supports shall be made of dark, neutral or subdued colors to de-emphasize them.



- B.5.** Color schemes should relate to or match the colors of the building on the site.
- B.6.** No day glow or fluorescent colors are allowed.
- B.7.** Colors used should be selected from the Sherwin Williams Preservation Palette, the Martin Senour Colonial Williamsburg Paint Colors, and the 3M Palette (or brands closely match these colors) from the list below:

Background Colors

Martin Senour Paints -- Williamsburg Paint Colors

Purdie House Gray, W64-1169	George Davenport House Green, W85-1071
Palace Supper Room Brown, W76-0205	Market Square Tavern Dark Green, W85-0620
Palmer House Brown, W76-942	Burdett's Ordinary Black Green, W85-0625
Campbell's Tavern Charcoal Brown, W75-931	Ludwell Tenement Sage, W82-1079
Benjamin Powell House Red, W76-935	Governor's Palace Tan, W82-1072
James Southall Blue, W72-1173	Holt's Storehouse Gray, W83-1074
Brush-Everard Blue, W74-1158	King's Arms Tavern Gray, W83-1076
Brafferton Blue, W74-1155	Purdie House Gray Slate, W83-1090
George Pitt House Green, W84-1088	Bracken's Tenement Blue Slate, W83-1065
Benjamin Powell House Green, W85-1089	Palace Arms Red, W1083
Palmer House Green, W84-1084	Palmer House Kitchen Brown, W85-1085
James Geddy Green, W84-1075	Livingston Kitchen Green, W84-1077

Sherwin Williams – Preservation Palette

Rookwood Dark Red, SW 2801	Roycroft Copper Red, SW 2839
Rookwood Red, SW 2802	Roycroft Brass, SW 2843
Rookwood Medium Brown, SW 2807	Roycroft Bronze Green, SW 2846
Rookwood Dark Brown, SW 2808	Roycroft Bottle Green, SW 2847
Rookwood Shutter Green, SW 2809	Roycroft Pewter, SW 2848
Rookwood Sash Green, SW 2810	Rookwood Dark Green, SW 2816
Aurora Brown, SW 2837	Polished Mahogany, SW 2838

3M Image Graphics – Films for Opaque Applications

Dark Grey, 3650-41	Harvest Gold, 7725-105
Black, 3650-12	Dark Green, 3650-56
Matte Black, 3650-22	Bottle Green, 7725-276
Deep Mahogany Brown, 3650-19	Forest Green, 7725-66
Russett Brown, 3650-29	Bermuda Blue, 7725-357
Putty, 7725-59	Shadow Blue, 7725-177
Deep Red, 3650-23	Light Navy, 7725-197
Burgundy, 3650-58	Indigo, 3650-27

Lettering Colors

Martin Senour Paints – Williamsburg Paint Colors - Interior Paint Colors

Palace Chambers Yellow, W61-0406 Flat, W61-408 Flat, W71-406 Satin, W71-408 Satin
Raleigh Tavern Tan, W61-1054 Flat, W71-1054 Satin
Palace Supper Room Brown, W76-0205 Satin Latex
Campbell's Tavern Charcoal Brown, W75-931 Satin Latex
Palace Ballroom Ceiling White, W61-0410 Flat, W71-410 Satin
Palace Dining Room Pearl Blue, W61-0710 Flat, W71-0710 Satin
Brush-Everard Blue, W64-1158 Flat, W74-1158 Satin
Purdie House Gray, W64-1169 Flat, W74-1169 Satin
Palmer House Brown, W76-942 Satin Latex
Williamsburg Simulated Whitewash, W970 Alkyd Flat (Package Color)
Benjamin Powell House Red, W76-935 Satin Latex
James Southall Blue, W62-1173 Flat, W72-1173 Satin
Brafferton Blue, W64-1155 Flat, W74-1155 Satin

Martin Senour Paints - Williamsburg Paint Colors - Exterior Paint Colors

Outside White (Package Color)
Palmer House Green, W84-1084
Livingston Kitchen Green, W84-1077
Market Square Tavern Dark Green, W85-0620
Ludwell Tenement Sage - W82-1079
Holt's Storehouse Gray - W83-1074
Purdie House Gray Slate - W83-1090
Gold Leaf

George Pitt House Green, W84-1088
James Geddy Green, W84-1075
George Davenport House Green, W85-1071
Burdett's Ordinary Black Green, W85-0625
Governor's Palace Tan, W82-1072
King's Arms Tavern Gray - W83-1076
Bracken Tenement Biscuit - W81-1064

Sherwin Williams – Preservation Palette

Colonial Revival Tan, SW 2828
Colonial Revival Yellow, SW 2830
Roycroft Vellum, SW 2833

Classical White, SW 2829
Colonial Revival Gray, SW 2832

3M Image Graphics – Films for Opaque Applications

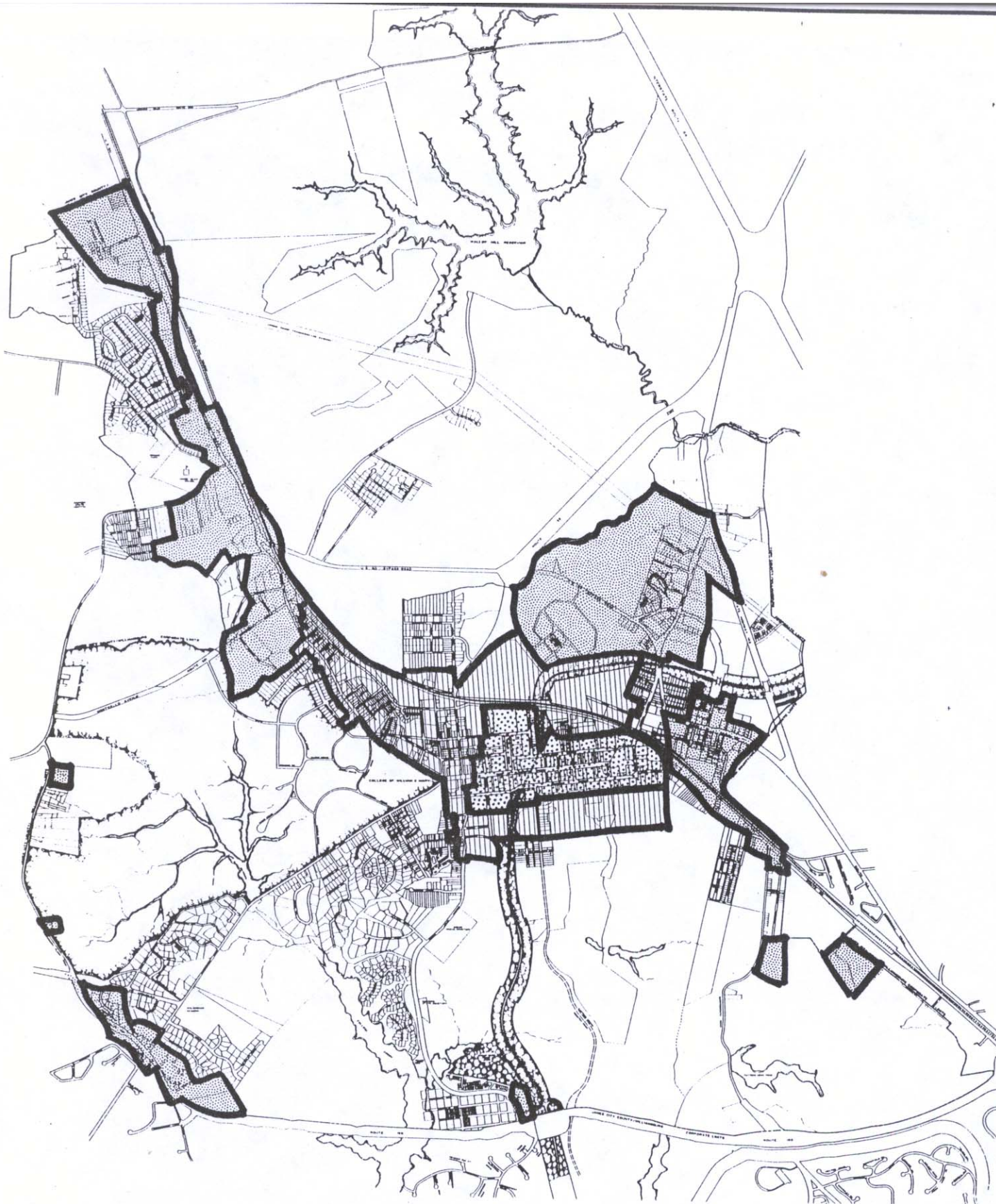
Translucent Frost, 160-60
White, 7725-10
Eggshell, 7725-130
Pearl Grey, 7725-11
Beige, 3650-49

White, 3650-10
Matte White, 7725-20
Antique White, 7725-90
Fawn, 7725-99
Vista Yellow, 7725-85

- C. Illumination of Signs.** Signs should be spot lighted or back lighted with a diffuse light source. Spot lighting should be shielded so it does not spill over onto adjacent properties or into motorists' eyes. Backlighting should illuminate the letters, characters or graphics on the sign but not the sign's background. Internally illuminated signs are not permitted in the Architectural Preservation District. The Architectural Review Board will review lighting design on externally illuminated signage to ensure that lighting is appropriate for the site. A lighting plan must be submitted with the sign application.

Illumination Design Guidelines:

- C.1.** Where permitted under the provisions of the sign ordinance, internal illumination is only allowed for signs with dark opaque backgrounds. Opaque backgrounds are required so that light shines through the lettering only. This will reduce the "glaring" white box" effect that often results when transparent light-colored plastic is used for sign backgrounds.
- C.2.** Silhouette (also known as "halo") lighting is recommended to create a back-lighted effect for the lettering.
- C.3.** The specific fixture(s) used for externally illumination must be submitted as part of the sign application for review by the Board. Any use of plant material must be indicated on the site plan as part of the submission package.



SIGN DISTRICTS

THE CITY OF WILLIAMSBURG, VIRGINIA



- ☐ RESIDENTIAL SIGN DISTRICT
- ☒ COLONIAL WILLIAMSBURG HISTORIC AREA SIGN DISTRICT
- ☒ DOWNTOWN SIGN DISTRICT
- ☒ CORRIDOR SIGN DISTRICT

AWNINGS

Awnings should contribute to the appearance of a building and the visual character of the streetscape. Therefore, the choice of colors and the design of awnings are critical in the **Architectural Preservation District** and the **Corridor Protection Districts** because of their high visibility. The following standards are designed to improve the visual character of buildings and the streetscape:

- Awnings should accent the building façade and not overwhelm the building or streetscape.
- Any logos or lettering on the awning is considered signage and must be within the allowable sign area for the business.
- Canvas awnings are allowed, and should have side panels.
- Vinyl and plastic awnings are not allowed.
- Colors should be limited to two, excluding logo's and lettering.
- Fabric patterns should be muted and compatible with the building and sign color scheme with colors from the Martin Senour "Williamsburg" exterior paint colors or from the Sherwin Williams "Preservation Palette". The latter's "Postwar Romanticism" selection is excluded from the approved colors. The use of primary, neon, and day glow colors are not permitted.
- Backlit awnings or lighting systems designed to uplight awnings are not allowed.
- Sizes and styles of awnings should be uniform throughout the site and should be compatible with the building and sign color schemes.
- Coordinated awning design with consistent heights and compatible awning colors is recommended for multiple tenant buildings.

Adopted by the Architectural Review Board on 10/23/2001.

DESIGN REVIEW GUIDELINES

APPENDIX



WILLIAMSBURG ARCHITECTURAL REVIEW BOARD

APPLICATION PROCEDURES

1. No clearing or grading permits, demolition permits (in the Architectural Preservation District), relocation permits (in the Architectural Preservation District), building permits or sign permits will be issued for any project in the Design Review Districts until the project has been approved by the Architectural Review Board. Certain exterior changes, such as painting and site work, which may not require a building permit may need approval by the Architectural Review Board. [It is advisable to check with the Planning Department prior to beginning work.]
2. The Architectural Review Board meets the second and fourth Tuesday of every month at 6:30 p.m. in the Conference Room on the Third Floor of the Municipal Building at 401 Lafayette Street. In order to be placed on the agenda for a meeting, the ARB and Sign applications must be submitted no later than the Monday of the week prior to the ARB meeting at 12:00 (noon). [Meeting schedules and applications are available at the Planning Department.] Adjoining property owners will be mailed written notification for construction projects and public notification placards will be posted for new construction, demolition, additions, alterations, relocation and major rehabilitation applications.
3. Applications to the Architectural Review Board must include the ARB application form and nine sets of plans (elevations and site plans) for large commercial projects. The preferred plan size is 11"x17". A list of all materials proposed for the project to include the colors proposed must be included with the application. For smaller projects, one set of plans (11"x17") will suffice with a list of all materials proposed for the project, to include the colors proposed, must be included with the application.
4. Application to the Architectural Review Board for signs must include a completed Sign application form with nine colored renderings of the proposed sign(s). Specific colors must be listed on the application for the ARB to review the application. Building-mounted signs must include an elevation of the proposed sign on the building. Freestanding or monument signs must include a site plan indicating the location of the sign and any proposed lighting/landscaping.
5. Applicants who are not on the consent agenda must be represented at the meeting. Applicants on the consent agenda are encouraged to be present at the meeting but attendance is not mandatory. If a case is removed from the consent agenda and a representative is not present the case will be tabled until the next meeting. Applicants on the consent agenda who do not attend the meeting do so at their own risk.

6. The applicant will receive a copy of the Architectural Review Board's decision within a week following the meeting. In the event that the Architectural Review Board denies an application, the applicant will receive written notification of the decision from the Architectural Review Board explaining the reasons for the decision.
7. Building, demolition and relocation permit applications are available at the Building Inspections Office between 8:00 a.m. and 4:30 p.m. Two copies of the approved building plans, site plan, and a land-disturbing permit if necessary, must be submitted with the application. Check with the Building Inspections Office at 220-6136 for additional information for plan review.
8. The applicant is responsible for notifying the Planning Department when the construction project is ready for inspections for compliance with plans approved by the Architectural Review Board. In addition, a foundation survey, prepared by a surveyor, must be submitted and approved by the Zoning Administrator prior to proceeding above the foundation. If completed projects do not comply with approved plans, the applicant will be in violation of the Zoning Ordinance and subject to civil penalties and other legal action including injunction, abatement or other appropriate action or proceeding in order to insure compliance with this ordinance.

WILLIAMSBURG ARCHITECTURAL REVIEW BOARD

APPROVED MATERIALS AND COLOR SCHEMES PALETTE

COMMERCIAL PROPERTIES: Any re-painting, re-siding, or re-roofing of a commercial property which duplicates or matches existing colors and materials on the building does not need to come before the Architectural Review Board. Any changes to existing color schemes or materials that are proposed to a commercial property, must receive the approval of the Architectural Review Board.

SINGLE-FAMILY RESIDENTIAL PROPERTIES: In an effort to assist the architectural review process and to relieve citizens of the necessity of architectural review for ordinary maintenance of single-family residential properties, the Architectural Review Board has adopted the following materials and color schemes for paint, roofing and siding material.

PAINT

Any painting or exterior surfaces that duplicates or matches existing color schemes on the building does not need to come before the Architectural Review Board. Any new color scheme that is proposed to be applied to already painted surfaces and which is comprised of no more than two colors from the range of colors represented in the Sherwin Williams Preservation Exterior Palette (excluding the post war romanticism color selections) or the Martin Senour The Williamsburg Collection (exterior color schemes only), does not need to come before the Architectural Review Board. The use of colors, which are appropriate to the architectural style of the residential property, is encouraged. The use of different paint palettes or color schemes is not discouraged, but is subject to review on a case-by-case basis. In all cases where it is proposed to paint over unpainted, natural brick surfaces review by the Architectural Review Board is required. Salt-treated wood fences, decks and walls must be painted or stained.

ROOFING MATERIAL

Any new roofing material, which duplicates or matches existing roof colors and materials on the building, does not need to be reviewed by the Architectural Review Board. In addition, any new fiberglass, wood or slate shingle material which is from the range of colors represented in the TAMKO Heritage Premium fiberglass shingle color series, does not need to be reviewed by the Architectural Review Board. The use of roofing materials and colors, which are appropriate to the architectural style of the residential property, is encouraged. The use of different roofing materials or colors from a different palette is not discouraged but is subject to review on a case-by-case basis.

SIDING MATERIAL

Any siding of exterior surfaces, which duplicates or matches existing materials on the building, does not need to come before the Architectural Review Board. When an artificial siding is proposed to replace an existing and matching artificial siding material, and if the color of the material either matches existing color schemes on the building or is similar to a color from the approved colors listed above in the paint section, Architectural Review Board approval is not required. The use of siding materials and colors, which are appropriate to the architectural style of the residential property, is encouraged. In all cases where artificial siding, such as vinyl, aluminum, dryvit, masonite, etc., is proposed to replace traditional siding, such wood or brick, review by the Architectural Review Board is required. For property eligible for the **National Register of Historic Places** and/or identified on the **City's Listing of Locally Significant Architecture and Areas**, the Board will apply a strict construction of the principles in the ***Design Review Guidelines*** regarding synthetic siding.

GLOSSARY OF TERMS

ARCHITECTURAL CONSERVATION

The science of preserving a building and or structure and its historic fabric. Conservation uses scientific techniques and analytical methods to conduct investigations in which to determine the cause, effect and solution of building problems. After examining the structure and diagnosing the problems, the architectural conservator either conducts or directs the treatment.

ADAPTIVE USE

A means to provide new functions to an older building or structure that would otherwise be demolished.

MAINTAIN

To keep a building or structure in an existing state using the least degree of intervention.

PRESERVATION

The act or process of applying measures to sustain the existing form, integrity, and material of a building or structure.

RECONSTRUCTION

The act or process of reproducing by new construction the exact form and detail of a vanished building, structure, or object, or a part thereof, as it appeared at a specific period of time.

REHABILITATION

The act or process of returning a property to a state of utility through repair or alteration which makes possible an efficient contemporary use while preserving those portions or features of the property which are significant to its historical, architectural, and cultural values.

REPAIR

The process of controlling decay by removing growths, replacing a part, or putting together what is torn or broken.

RESTORATION

The act or process of accurately recovering the form and details of a property and its setting as it appeared at a particular period of time by means of the removal of later work or by the replacement of missing earlier work.

VIRGINIA GAMBREL - COLONIAL REVIVAL

A stylistic term for a type of colonial revival house architecture typical to this area which was built in the City following the advent of the Colonial Williamsburg restoration project, particularly in the 1930's and 1940's. In many instances, examples of this style closely resemble Colonial forms in the Historic Area. The term was recommended for use by Nicholas Pappas, former Architect of the Colonial Williamsburg Foundation.

The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

ARCHITECTURAL REVIEW BOARD BYLAWS

The purpose of these bylaws is to supplement the procedures for meetings outlined in Section 21-853, Architectural Review Board.

1. The Board shall elect officers from its own membership, as specified in Section 21-853 of the Architectural Review Article in the Zoning Ordinance, at the first meeting of the year.
2. The Board shall meet at least once a month, but shall schedule meetings for the second and fourth Tuesday of every month. In the event that no applications for review are received by the deadline prior to a meeting, the regular scheduled meeting will be canceled unless the Board has scheduled other matters for discussion pertaining to design review and/or historic preservation.
3. Board members shall attend a minimum of 12 regularly scheduled meetings and a least one training session per year, in order for the Architectural Review Board and the City's design review program to be eligible for Certified Local Government status with the Virginia Department of Historic Resources.
4. The Board shall for parliamentary purposes, follow Robert's Rules of Order, as modified for Small Boards. These modifications include the following items. Members are not required to obtain the floor before making motions or speaking, which they can do while seated. Motions need not be seconded. There is no limit to the number of times a member can speak to a question, and motions to close or limit debate generally should not be entertained. Informal discussion of a subject is permitted while no motion is pending. Sometimes, when a proposal is perfectly clear to all present, a vote can be taken without a motion's having been introduced. Unless agreed to by general consent, however, all proposed actions of a board must be approved by vote under the same rules as in other assemblies, except that a vote can be taken initially by a show of hands. The chairperson need not rise while putting questions to vote. The chairperson can speak in discussion without rising or leaving the chair. Subject to rule or custom within the particular board (which should be uniformly followed regardless of how many members are present), the chairperson can make motions and vote on all questions.
5. A quorum of the Board must be present at a meeting in order for official business to be conducted. Each member shall be entitled to one vote on any question before the Board, and the decisions of the Board shall be determined by a majority vote of members present.
6. If a specific application before the Board poses a conflict of interest for any board member, that member shall abstain from voting on the matter.
7. The Board shall review all applications which have been submitted prior to the deadline for the meeting and for which an applicant or representative is present at

the meeting. A decision shall be made on the case within 60 days of first consideration, unless the applicant formally requests an extension. Any request for an extension must be to a particular date.

If the case is tabled to a particular date or if an applicant requests an extension to a particular date, and if an applicant fails to appear on the date appointed, then the case shall be considered withdrawn. Any re-submittals must be under a new application.

8. The Board endorses the practice of using a consent agenda. Staff makes the initial determination of applications to be included on the consent agenda. At the regular meeting of the Board, the Chair will provide Board members the opportunity to add or remove items from the consent agenda. In addition, the Chair will remove an item from the consent agenda if anyone present desires to speak about an application in the public comment period. A representative does not need to be present for applications listed on the consent agenda. However, if the application is removed from the consent agenda and no representative is present, the application will be tabled until the next meeting.
9. For each application, Board procedure provides two opportunities for comments from the public. Members of the audience are invited to speak after the presentation of the consent agenda application and before discussion by the Board. Members of the audience are also invited to speak after the Board's discussion but prior to the Board's vote on each application. All comments by members of the public should be addressed to the Board and not the applicant. It is not appropriate for members of the audience to engage in conversations with the applicant during the official meeting of the Board.
10. Any motion for action on an application before the Board shall state the reasons therefore, such as whether the application is consistent with the Design Review Guidelines and what factors of the proposal are compatible or incompatible with the surrounding areas and the City of Williamsburg.
11. The minutes of the meeting shall be prepared by the Planning Department staff, as specified in Section 21-853 of the Architectural Review Article in the Zoning Ordinance, and shall be held for public record in the Planning Department.

Adopted by the Architectural Review Board on January 11, 2005.

Hugh Williams, Chairman
Williamsburg Architectural Review Board

Carolyn A. Murphy
Zoning Administrator

DESIGN REVIEW GUIDELINES

NATIONAL REGISTER OF HISTORIC PLACES & LOCALLY SIGNIFICANT ARCHITECTURE & AREAS



WILLIAMSBURG LISTINGS

On THE NATIONAL REGISTER OF HISTORIC PLACES And THE VIRGINIA LANDMARKS REGISTER

VDHR File #137-0007	Bruton Parish Church (NRHP NHL 04-15-70) 331 W. Duke of Gloucester Street
VDHR File #137-0013	Wren Building, College of William & Mary (NRHP NHL 10-09-60) - 111 Jamestown Road
VDHR File #137-0032	Peyton Randolph House (NRHP NHL 04-15-70) 101 E. Nicholson Street
VDHR File #137-0033	William Finnie House (NRHP NHL 4-15-70) 506 E. Francis Street
VDHR File #137-0050	Williamsburg Historic District (NRHP NHL 10-09-60)
VDHR File #137-0056	Capitol Landing (44WB5) (VLR 06-21-77)
VDHR File #137-0057	College Landing (44WB3) (NRHP 07-12-78)
VDHR File #137-0058	Wythe House (NRHP NHL 04-15-70) 112 Palace Green Street
VDHR File #137-0075	Chandler Court & Pollard Park (NRHP 10-03-96)
VDHR File #137-0079	Williamsburg Inn (NRHP 06-04-97) 300 E. Francis Street
VDHR File #137-0302	Matthew Whaley School (NRHP 8-13-04) 301 Scotland Street

WILLIAMSBURG PROPERTIES ELIGIBLE FOR LISTING

On THE NATIONAL REGISTER OF HISTORIC PLACES And THE VIRGINIA LANDMARKS REGISTER

By the Department of Historic Resources

Bruton Height School (evaluated 11/20/89) -- Local significance - 301 First Street

LISTING OF LOCALLY SIGNIFICANT ARCHITECTURE AND AREAS

Colonial Williamsburg Historic Area

All original 18th-century and reconstructed structures within the National Register boundaries.

College of William & Mary

The Old Campus and the twentieth-century dormitory, classroom, and office buildings within the Richmond Road, Jamestown Road, Stadium Drive, Landrum Drive triangle.

Colonial National Monument Parkway, Carters Grove Country Road, 18th-century port sites at Queens Creek and College Landing

<u>Address(Date)</u>	<u>Name</u>	<u>Style</u>
<u>Capitol Landing Road Area</u>		
303 Capitol Landing Road (1932)	George C. Mahone House	Colonial Revival
307 Capitol Landing Road (1895; R-1932)	Morecock House	Queen Anne
400 Capitol Landing Road (c.1935)	Bradby House	Bungalow
401 Capitol Landing Road (c.1895;R-1932)	Morecock House	Classic, Vernacular
406 Capitol Landing Road (1930)	Rogers House	Bungalow
407 Capitol Landing Road (1934)	Woodcock House	Colonial Revival
408 Capitol Landing Road (1926)	Mahone House	Bungalow
500 Capitol Landing Road (1926)	Johnston House	Bungalow
502 Capitol Landing Road (1933)	Mahone House	Bungalow
601 Capitol Landing Road (1938)	Coleman/Murphy House	Log house
602 Capitol Landing Road (c.1941)	Timoney House	Bungalow
603 Capitol Landing Road (1938)	Nea House	Bungalow
604 Capitol Landing Road (c.1945)	Baganakis House	Shotgun Vernacular
706 Capitol Landing Road (1935)	Reinecke House	Bungalow
805 Capitol Landing Road (1915)	Haynes House	Bungalow
811 Capitol Landing Road (1920)	Pierce House	Bungalow
1002 Capitol Landing Road (c.1880)	Maynard House	Vernacular
1011 Capitol Landing Road (1919)	Corey House	Bungalow
1030 Capitol Landing Road (c.1890)	The Beeches	Prairie Style
1031 Capitol Landing Road (c.1920)	Mahone House	Bungalow
1037 Capitol Landing Road (c.1865-1880)	Mahone House	Cross-gable Vernacular
1039 Capitol Landing Road (c.1920)	Mahone House	Bungalow
703 Page Street (c.1890)	Martin House	Front-gable Vernacular

Colonial Extension

404 S. England Street (1910's)	Funke House	Foursquare
501 S. England Street (c.1916)	Pittman House	Foursquare
410 Tyler Street (1753) R	Powell-Hallam House	Colonial
420 Tyler Street (1760) R	Galt James Cottage	Colonial
503 Tyler Street (1914)	Thorpe House	Cross-gable Vernacular
507 Tyler Street (1905)	Thorpe House	Front-gable Vernacular
510 Tyler Street (1934)	Anderson House	Shotgun Vernacular
528 Tyler Street (1915, R 1929)	Willie Baker House	Foursquare

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<u>Address(Date)</u>	<u>Name</u>	<u>Style</u>
<u>S. Boundary/Ireland/S. Henry Street Area -- Significant Neighborhood Grouping of Vernacular Houses</u>		
204 S. Boundary Street (W & M) (1930)	Penniman Bungalow	Shotgun Vernacular
206 S. Boundary Street (W & M) (1930)	Penniman Bungalow	Shotgun Vernacular
208 S. Boundary Street (W & M) (1930)	Penniman Bungalow	Shotgun Vernacular
426 Ireland Street (1780-1820)	Rabon House	I-house Vernacular
434 Ireland Street (1890)	Thorpe House	I-house Vernacular
408 S. Henry Street (1930)	TAWA House	Bungalow
434 S. Henry Street (c.1900)	Tucker House	Vernacular
620 S. Henry Street (c.1900-20)	Sam Harris House	I-house Vernacular
620 2 S. Henry Street (1947)	The Sunnyside of the Street	Vernacular Commercial
621 623 S. Henry Street (Blacksmith Alley)(c.1920)		Harris House Vernacular
626 S. Henry Street (c.1910-20)	Johnson House	Front-gable Vernacular
626-A-B-C S. Henry Street (c.1900-20; R)	Webster Street Houses	3 Shotgun Vernaculars
800 S. Henry Street (c.1900)	Fannin House	Front-gable Vernacular
<u>Newport Avenue/Griffin Avenue/Cary Street Area</u>		
501 Newport Avenue (1922)	George Rollo House	Dutch Colonial Revival
502 Newport Avenue (1929)	Harwood/Schreiber House	Dutch Colonial Revival
523 Newport Avenue (1750; R-1974)	Cedar Ridge	Colonial
103 Cary Street (c.1932)	Dr. Baxter Bell's House	Cottage
109 Cary Street (c.1929)	Bell's Hospital	Colonial Revival
114 Griffin Avenue (1928)	Casey House	Bungalow
118 Griffin Avenue (c.1920)	Woodbridge House	Bungalow
101 Griffin Avenue (c.1920, R)	Mackey House	Vernacular
119 Griffin Avenue (c.1920, R)	Taylor House	Vernacular
201 Griffin Avenue (1925)	Etheridge House	Vernacular
205 Griffin Avenue (1920)	H. K. Young House	Dutch Colonial Revival
207 Griffin Avenue (1929)	J. D. Carter House	Dutch Colonial Revival
<u>Jamestown Road -- Significant Neighborhood Grouping (200, 300, 400 Blocks)</u>		
218 Jamestown Road (W & M)(c.1920)	Hoke House	Colonial Revival
228 Jamestown Road (W & M)(1915)	Bridges House	Vernacular
232 Jamestown Road (W & M)(c.1915)	Stetson House	Foursquare
234 Jamestown Road (W & M)(1913)	Italian House	Foursquare
308 Jamestown Road (W & M)(c.1915)	Holmes House	Foursquare
312 Jamestown Road (W & M)(1915)	Lambert House	Foursquare
314 Jamestown Road (W & M)(1920)	Rowe House	Foursquare
336 Jamestown Road (1925-30)	Painter House	Foursquare
338 Jamestown Road (1928)	DuBois House	Cottage
402 Jamestown Road (W & M)(c.1940)	Matthews House	Foursquare
404 Jamestown Road (c.1925)	Faison House	Bungalow
406 Jamestown Road (1920)	Richardson House	Front-gable Vernacular
520 Jamestown Road (c.1840-69, 1890's, 1938)	Frank Powell House	Gable-ell, I House

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<u>Address(Date)</u>	<u>Name</u>	<u>Style</u>
<u>Jamestown Road</u> -- Significant Neighborhood Grouping (200, 300, 400 Blocks)		
700 Jamestown Road (1930+)	Young House	Dutch Colonial Revival
702 Jamestown Road (1930+)	Wagner House	Colonial Revival
704 Jamestown Road (1929)	Guartney House	Colonial Revival
718 Jamestown Road (1900)	Seven Oaks	Colonial Revival
<u>Chandler Court (1925-30) – National Register of Historic Places</u>		
100 Chandler Court (1920-35)	Warren/Cox House	Neo-Colonial
101 Chandler Court (1925)	Nelson House	Dutch Colonial Revival
116 Chandler Court (1923)	Morton House	English Cottage/ Colonial Revival
119 Chandler Court (W & M)(1925)	Swem House	Colonial Revival
121 Chandler Court (1925)	Krebs House	Colonial Revival
123 Chandler Court (1929)	Geiger House	Colonial Revival
129 Chandler Court (1928)	Pollard House	Colonial Revival
130 Chandler Court (1949)	Phalen House	Cape Cod
131 Chandler Court (1925)	Pollard House	Colonial Revival
134 Chandler Court (1925)	Ballard/Robb House	Colonial Revival
140 Chandler Court. (1931)	Pollard/Ballard House	Colonial Revival
601 Wythe Lane (1925)	Old Presbyterian Manse	Colonial Revival
605 Wythe Lane (W & M)(1940)	Blank House	Colonial Revival
<u>Pollard Park – National Register of Historic Places</u>		
1 Ballard Lane (c.1940)	Harriet Reid House	Virginia Gambrel
3 Pollard Park (1929)	Craighill House	Colonial Revival
600 Pollard Park (1929)	Guy House	Colonial Revival
601 Pollard Park (1937)	Morton House	Colonial Revival
604 Pollard Park (1939)	Chapman House	English Cottage
608 Pollard Park (c.1940)	Smith House	Virginia Gambrel
610 Pollard Park (1938)	Lambert House	Virginia Gambrel
706 Pollard Park (1929)	Williams House	Cape Cod
<u>Burns Lane</u>		
209 Burns Lane (1774; R-1946)	Bel-Mede	Colonial
<u>West Williamsburg -- Significant Neighborhood Grouping of Bungalows</u>		
721 Lafayette Street (c.1920)	Casey House	Bungalow
723 Lafayette Street (1936)	Atkinson House	Bungalow
725 Lafayette Street (1927)	Perkins House	Bungalow
727 Lafayette Street (1936)	Vana House	Bungalow
801 Lafayette Street (1930)	Guthrie House	Bungalow
803 Lafayette Street (1940-45)	Smith House	Bungalow
105 Wythe Avenue (1935)	Fairbanks House	Bungalow
107 Wythe Avenue (1935)	Reed House	Bungalow
110 Delaware Avenue (1947)	Fletcher House	Bungalow

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<u>Address(Date)</u>	<u>Name</u>	<u>Style</u>
<u>Lower Richmond Road Area</u>		
500 Richmond Road (W & M)(c.1850)	Bright Farm House	Victorian
520 Richmond Road (1932,1983)	St Bede's Sanctuary	Georgian Colonial Revival
719 Richmond Road (1938)	Blocker Tourist Home	Colonial Revival
<u>Lower Richmond Road Area</u>		
721 Richmond Road (c.1940)	Carlton C. Casey House	Colonial Revival
727 Richmond Road (c.1900)	Metcalf House	I-house Vernacular
110 Brooks Street (c.1900, R 1950's)	Skillman House	Vernacular
<u>College Terrace (1927 plat) -- Recommended eligible for National & State Registers</u>		
600 Richmond Road (1930)	Dick Davis House	Colonial Revival
606 Richmond Road (1930)	Theta Delta Chi House	Colonial Revival
612 Richmond Road (1930)	Allen House	Colonial Revival
614 Richmond Road (1938)	McCary House	Colonial Revival
616 Richmond Road (1928)	Person House	Colonial Revival
700 Richmond Road (1940)	Kappa Sigma House	Georgian Colonial Revival
708 Richmond Road (1928,58)	-----	Dutch Colonial Revival
601 College Terrace (1933)	Sigma Nu/Phi Kappa Tau House	Plantation Colonial Revival
605 College Terrace (1931)	Harris House	Dutch Colonial Revival
606 College Terrace (1928)	Gibbs House	Dutch Colonial Revival
608 College Terrace (c.1938)	Robertson House	Dutch Colonial Revival
616 College Terrace (1929)	Barksdale House	Dutch Colonial Revival
702 College Terrace (c.1930)	The Selby Tourist Home	Colonial Revival
704 College Terrace (c.1931)	Ituralde House	Colonial Revival
705 College Terrace (c.1930)	Geddy House	Dutch Colonial Revival
706 College Terrace (1935)	Love House	Virginia Gambrel
714 College Terrace (1936)	Merrimen House	Cape Cod
<u>West Williamsburg Heights (1925 plat) -- Recommended eligible for National & State Registers</u>		
501 Richmond Road (1928)	H. D. Bozarth Tourist Home	Colonial Revival
503 Richmond Road (1934)	Blanchard House	Colonial Revival
505 Richmond Road (1937)	Comer Jackson House	Colonial Revival
517 Richmond Road (1926)	Thad Hall House	Colonial Revival
519 Richmond Road (W & M)(c.1926)	Savage House	Dutch Colonial Revival
601 Richmond Road (1929)	W. J. Holland Tourist Home	Colonial Revival
605 Richmond Road (1928)	Elton Holland House	Colonial Revival
607 Richmond Road (1934)	Painter House	Colonial Revival
609 Richmond Road (c.1930)	Old Baptist Parsonage	Colonial Revival
611 Richmond Road (1930)	Farrell House	I-house Vernacular
711 Richmond Road (1929)	Jerome H. Casey House	Colonial Revival
506 Randolph Street (1934,56,60)	Blanchard House	Hipped Vernacular
509 Randolph Street (1932)	Annie Bozarth Lockhart House	Bungalow

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Address(Date)**Name****Style****West Williamsburg Heights (1925 plat) -- Recommended eligible for National & State Registers**

206 Virginia Avenue (pre-1895)	Bozarth Farm House	Cross-gable Vernacular
110 Harrison Avenue (1941)	Holland House	Colonial Revival
200 Harrison Avenue (1941)	Remick House	Colonial Revival
201 Harrison Avenue (1925)	Dr. Tucker House	Dutch Colonial Revival
203 Harrison Avenue (1931)	Mullin House	Tudor Revival
206 Harrison Avenue (1936)	Darst House	Colonial Revival
209 Harrison Avenue (1940,57)	Rau House	Cape Cod
211 Harrison Avenue (1938,88)	W. R. Holland House	Colonial Revival
213 Harrison Avenue (1940)	Hartsfield House	Cape Cod
215 Harrison Avenue (1930)	Cummings House	Cape Cod
217 Harrison Avenue (1940)	Holland House	Cape Cod
302 Harrison Avenue (1929,1980)	Edward D. Saunders House	Georgian Revival
111 Nelson Avenue (1931)	Emans House	Dutch Colonial Revival
200 Nelson Avenue (1929)	Dr. Stone House	Dutch Colonial Revival
205 Nelson Avenue (1939)	Jones House	Colonial Revival
206 Nelson Avenue (1933)	Arthur Bozarth House	Colonial Revival
207 Nelson Avenue (1937)	Hattie Bozarth House	Bungalow
210 Nelson Avenue (1934)	Low House	Cape Cod

Downtown -- Recommended expansion area for College of William & Mary National Register Historic District

522 Prince George Street (W & M)(c.1910)	Braxton House	Vernacular
524 Prince George Street (W & M)(1915)	Prince George House	Colonial
		Revival/Vernacular
125 Richmond Road (W & M)(c.1930)	Old Telegraph Co. Building	Georgian Revival
Richmond Road (W & M)(c.1940)	Sorority Court (5 houses)	Georgian Revival
133 Richmond Road (W & M)(c.1940)	Phi Mu	Georgian Revival
151 Richmond Road (W & M)(c.1930)	Alpha Gamma	Georgian Revival
155 Richmond Road (W & M)(1931)	Kappa Alpha Theta	Georgian Revival
195 Armistead Avenue (W & M)(1930)	Moncure House	Colonial Revival
197 Armistead Avenue (W & M)(1913)	Mullen House	Foursquare
199 Armistead Avenue (W & M)(c.1920)	Bull House	Foursquare
203 Armistead Avenue (1929)	Henry Billops House	Colonial Revival
468 N. Boundary Street (1935)	Transportation Center	Colonial Revival
421-23 Prince George Street (1920)	Armistead Building	Colonial Revival
429 Prince George Street (1931)	Sacalis Building	Colonial Revival
441 Prince George Street (1933)	Hitchens Building	Colonial Revival
501-11 Prince George Street (1931,85)	Imperial Building	Georgian Revival
255 Richmond Road (c.1880)	Master Craftsman Shop	Vernacular
303 Richmond Road (W & M)(c. 1920)	Ayers House	Foursquare
327 Richmond Road (1920)	Wilford House	Front gable Vernacular
331 Richmond Road (1920)	Cary Wynne Boelt House	Virginia Gambrel
333 Richmond Road (1925)	Wynway Hall & Mule Barn	Colonial Revival
528 Scotland Street (1910)	Lee Jackson House	Cross-gable Vernacular

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<u>Address(Date)</u>	<u>Name</u>	<u>Style</u>
<u>Braxton Court -- Recommended eligible for National & State Registers</u>		
743 Scotland Street (1930)	Mrs. Helen Jones House	Cottage
745 Scotland Street (1920)	Sidney Johnson House	Vernacular
747 Scotland Street (1947)	H. L. Cooke Office	Vernacular
755 Scotland Street (1903) -- 1 house & 3 cottages		Mrs. Bessie Durant property Vernacular
100 Braxton Court (1930,53)	Andrew Jones House	Bungalow
102 Braxton Court (R-1980)	Roberts House	Cape Cod
104 Braxton Court (1930)	Richardson House	Bungalow
105 Braxton Court (1933)	Norman Hornsby House	Vernacular
106 Braxton Court (1930)	Parker House	Cape Cod
110 Braxton Court (1930)	Cumber House	Bungalow
114 Braxton Court (c.1930) -- 2 houses	Goodall House	Colonial Revival
116 Braxton Court (1936)	Dr. Blayton House	Colonial Revival
118 Braxton Court (1940)	Gerst House	English Cottage
120 Braxton Court. (1935)	Lee Washington House	Bungalow
122 Braxton Court (1954)	Archie Rucker House	Cape Cod
124 Braxton Court (1937)	Skinner House	Bungalow
125 Braxton Court (c.1935)	Paul D. Braxton House	Vernacular
126 Braxton Court (1939)	Baker House	Cape Cod
	Robert H. Braxton House	Dutch Colonial Revival
<u>Peacock Hill -- Survivors from former Significant Neighborhood Grouping</u>		
349 Scotland Street (c.1904, 40)	J. C. Darlington House	Queen Anne
402 Scotland Street (c.1900)	Mrs. Warburton's House	Queen Anne
415 Scotland Street (c.1907)	Jones House	Queen Anne
420 Scotland Street (c.1900, 35)	McTavish House	Front-gable Victorian
427 Scotland Street (c.1898, 1966)	Norvelle L. Henley House	Victorian
435 Scotland Street (c.1924)	Vernon M. Geddy House	Colonial Revival
212 N. Henry Street (c.1900)	Fields House	Front-gable Victorian
220 N. Henry Street (c.1900, 75)	Shipman/Brooks House	Queen Anne
245 N. Henry Street (c.1910)	Charlotte Brooks House	Front-gable Queen Anne
320 N. Henry Street (1888)	Cara & Dora Armistead House	Victorian
327 N. Henry Street (c.1906)	Andrew J. Barnes House	Queen Anne
332 N. Henry Street (c.1907)	Lawson House	Queen Anne
209 N. Boundary Street (1923)	Mary Sacalis Mitchell House	Foursquare
213 N. Boundary Street (1918)	Mary Sacalis Mitchell House	Foursquare
219 N. Boundary Street (1905)	Creasey House (XXCG)	Cottage
221 N. Boundary Street (1920; R-1935?)	McGregor House	Colonial Revival
<u>Historic Area</u>		
121 Duke of Gloucester Street (1860)	Bowden-Armistead House	Greek Revival
233 E. Francis Street (c.1930)	Masonic Lodge	Colonial Revival
314 Prince George Street (1935)	Bruton Parish Rectory	Colonial Revival

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<u>Address(Date)</u>	<u>Name</u>	<u>Style</u>
<u>Historic Area Fringes</u>		
300 Bucktrout Lane (18 th century, R 1946)	Providence Hall	Colonial
345 W. Duke of Gloucester Street (1940)	William & Mary Bookstore	Georgian Revival
400-41 W. Duke of Gloucester Street (1935)	Merchant's Square	Georgian Revival
414-43 W. Duke of Gloucester Street (1935)	Merchant's Square	Georgian Revival
436 W. Duke of Gloucester Street (1935)	Williamsburg Drug Company	Georgian Revival
401 W. Duke of Gloucester Street (1932)	Crestar Bank Building	Georgian Revival
403-29 W. Duke of Gloucester Street (1935)	Merchant's Square	Georgian Revival
403-15 W. Duke of Gloucester Street (1935)	Merchant's Square	Georgian Revival
305 S. England Street (1936)	Craft House	Georgian Revival
301 First Street (c.1940)	Bruton Heights Schools	Colonial Revival
300 E. Francis Street (1936,50,71,72)	The Williamsburg Inn	Regency Revival
522 E. Francis Street (1750,1950)	Basset Hall	Colonial
410 W. Francis Street (18th c, early 19th c)	William Byrd III House & Stable	Colonial
400 Franklin Street (1932)	Mt. Ararat Baptist Church	Georgian Revival
124 N. Henry Street (1940-41)	Goodwin Building	Georgian Revival
110 S. Henry Street (1940)	Old Post Office	Georgian Revival
<u>National Register of Historic Places</u>		
301 Scotland Street (1929-30,81)	Matthew Whaley School	Georgian Revival

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DESIGN REVIEW GUIDELINES

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